

Riley Purgatory Bluff Creek Watershed District Permit Application Review

Permit No: 2022-010

Considered at Board of Managers Meeting: July 13, 2022

Application Received complete: May 17, 2022

Applicant: George and Linda Sicheneder

Consultant: Civil Site Group, Robbie Latta

Project: Suite Living of Eden Prairie – The applicant proposes the construction of a new assisted living facility, parking lot, and landscaping. Two subsurface stormwater filtration facilities and a rainwater harvesting system for irrigation will provide water quality treatment, rate control, and volume abstraction.

Location: 9360 Hennepin Town Road, Eden Prairie, MN

Reviewer: Leslie DellAngelo, PE, and Scott Sobiech, PE, Barr Engineering

Proposed Board Action

Manager _____ moved and Manager _____ seconded adoption of the following resolutions based on the permit report that follows and the presentation of the matter at the July 13, 2022 meeting of the managers:

Resolved that the application for Permit 2022-010 is approved, subject to the conditions and stipulations set forth in the Recommendations section of the attached report;

Resolved that on determination by the RPBCWD administrator that the conditions of approval have been met, the RPBCWD president or administrator is authorized and directed to sign and deliver Permit 2022-010 to the applicant on behalf of RPBCWD.

Upon vote, the resolutions were adopted, _____ [VOTE TALLY].

Applicable Rule Conformance Summary

Rule	Issue	Conforms to RBPCWD Rules?	Comments	
C	Erosion Control Plan	See Comment	See rule-specific permit condition C1 related to providing name and contact information for the individual responsible for erosion control.	
D	Wetland and Creek Buffer	See Comment	See rule-specific permit condition D1-D2 related to additional buffer signage and maintenance declaration review, approval and recordation.	
J	Stormwater Management	Rate	Yes	
		Volume	Yes	
		Water Quality	See Comment	See Rule Specific Permit Conditions J1 related updating drawings and design to align with modeling parameters.
		Low Floor Elev.	Yes	
		Maintenance	See Comment	See Rule Specific Permit Conditions J2 related to maintenance declaration review, approval and recordation.
		Chloride Management	See Comment	See stipulation #4.
		Wetland Protection	See Comment	See Rule Specific Permit Conditions J3 related to updated drawings showing that disturbed area directly tributary to wetlands will be dedicated as wetland buffer, preserved and maintained as native vegetation into perpetuity, or routed to a stormwater management facility.
L	Permit Fee	Yes	\$3,000 permit fee deposit received on February 24, 2022. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued	
M	Financial Assurance	See Comment	The financial assurance has been calculated at \$420,685.	

Project Description

The proposed work will redevelop a 2.8-acre site into a new assisted living facility, parking lot, and landscaping at 9360 Hennepin Town Road in Eden Prairie, Minnesota. The existing site includes a residential lot with one house, outbuildings, and the associated drive. This applicant proposes to demolish the existing structures, remove the driveway and septic system, construct an assisted living building and associated parking and utilities, sanitary sewer tie-in along Clark Circle, and construct stormwater management features. There are two wetlands on-site but the project will not involve disturbance of the wetlands. In addition, there is an off-site, downstream wetland that receives runoff from a portion of the applicant's property that will be disturbed for the project. The stormwater management system includes the construction of two subsurface filtration systems, a rainwater harvesting system for on-site irrigation, and wetland buffers to provide water quality treatment, rate control, and volume abstraction.

The project site information is summarized below:

	Area (acres)
Total Site Area (acres)	2.82
Existing Site Impervious Area (acres)	0.20
Post Construction Site Impervious (acres)	1.07
New Site Impervious Area (acres)	1.07
Disturbed Impervious Area(acres)	0.20 (100% disturbed)
Increase in Site Impervious Area (acres)	0.87 (>100% increase)
Total Disturbed Area (acres)	1.9

Exhibits:

1. Permit Application received February 22, 2022 (The applicant was informed on March 11 that the application was incomplete. Materials completing the application were received on May 17, 2022)
2. Stormwater Management Report dated February 14, 2022 (revised March 25, May 11, May 17, and June 15, 2022))
3. Project Narrative dated February 14, 2022.
4. Geotechnical Evaluation by Chosen Valley Testing dated March 9, 2020
5. Infiltration Testing Report by Chosen Valley Testing dated April 30, 2020
6. Electronic MIDs model received on May 27, 2022 (revised June 30, 2022, Revised July 1, 2022)
7. Electronic HydroCAD models received on May 27, 2022 (revised June 15, 2022)
8. Project Plan Set (26 sheets) dated February 14, 2022 (revised May 17 and June 15, 2022)
9. Wetland Delineation Report by Wenck dated October 2019
10. City of Eden Prairie WCA Application for Review of Wetland Determinations received April 16, 2021
11. City of Eden Prairie WCA Notice of Decision received April 16, 2021
12. Engineer’s Opinion of Probable Cost for Stormwater Management features dated May 17, 2022
13. Cistern Drainage Irrigation Map received May 27, 2022
14. Response to RPBCWD Comments received May 27, 2022
15. Response to RPBCWD Comments dated June 15, 2022

Rule Specific Permit Conditions

Rule C: Erosion and Sediment Control

Because the project will alter 1.9 acres of land-surface area, the project must conform to the requirements in the RPBCWD Erosion and Sediment Control rule (Rule C, Subsection 2.1).

The erosion control plan prepared by Civil Site Group includes installation of silt fence, inlet protection for storm sewer catch basins, daily inspection, rock construction entrance, erosion control blanket, placement of a minimum of 6 inches of topsoil, decompaction of areas compacted during construction, and retention

of native topsoil onsite. To conform to the RPBCWD Rule C requirements the following revisions are needed:

- C1. The Applicant must provide the name and contact information of the individual responsible for erosion control at the site. RPBCWD must be notified if the responsible individual changes during the permit term.

Rule D: Wetland and Creek Buffers

Because the proposed work triggers a permit under RPBCWD Rule J and wetlands protected by the state Wetland Conservation Act are downgradient from the proposed construction activities, Rule D, Subsections 2.1a and 3.1 require buffer on the edges of the wetlands that are downgradient from the land-disturbing activities.

The Wetland Delineation Report and MnRAM analysis submitted indicate that the wetlands onsite are medium and low value (Appendix E). Rule D, Subsection 3.1.a.iii requires wetland buffer with an average of 40 feet from the delineated edge of the wetland, minimum 20 feet for medium value wetlands. Wetland buffer with an average of 20 feet from the delineated edge of the wetland, minimum 10 feet is required for low value wetlands. The buffer widths are summarized in the table below.

Wetland ID	RPBCWD Wetland Value	Required Minimum Width ¹ (ft)	Required Average Width ¹ (ft)	Provided Minimum Width (ft)	Provided Average Width (ft)
Wetland 25-11-C (onsite)	Medium	20	40	20.3	43
Wetland 24-44-B (onsite)	Low	10	20	20	30
Adjacent, Offsite Wetland	Medium	20	40	20.4	45

¹ Average and minimum required buffer width under Rule D, Subsection 3.1.a.

The plans require revegetating disturbed areas within the proposed buffer with native vegetation, thus conforming with Rule D, Subsection 3.3. A note is included on the plan sheet indicating the project will be constructed so as to minimize the potential transfer of aquatic invasive species (e.g., zebra mussels, Eurasian watermilfoil, etc.) to the maximum extent possible conforming to Rule D, Subsection 3.6.

To conform to RPBCWD Rule D the following revisions are needed:

- D1. Additional buffer signs must be shown on the drawings to delineate the westernmost buffer for Wetland 1.
- D2. Buffer areas and maintenance requirements must be documented in a declaration recorded after review and approval by RPBCWD in accordance with Rule D, Subsection 3.4.

Rule J: Stormwater Management

Because the redevelopment project will alter 1.9 acres of land-surface area, and increase the site imperviousness by more than 50%, the project must meet the criteria of RPBCWD's Stormwater Management rule (Rule J, Subsection 2.3) for all the impervious surface on the site.

The project includes installation of storm sewer to route runoff to two subsurface filtration systems and a rainwater harvesting system for irrigation on site. The reuse system will be used to irrigate 0.75 acres of pervious area on-site. The combination of the stormwater treatment BMPs will provide runoff volume abstraction, water quality treatment, and rate control.

Rate Control

In order to meet the rate control criteria listed in Subsection 3.1.a, the 2-, 10-, and 100-year post development peak runoff rates must be equal to or less than the existing discharge rates at all locations where stormwater leaves the site. The applicant used a HydroCAD hydrologic model to simulate runoff rates for pre- and post-development conditions for the 2-, 10-, and 100-year frequency storm events using a nested rainfall distribution, and a 100-year frequency, 10-day snowmelt event. The existing and proposed 2-, 10-, and 100-year frequency discharges from the site are summarized in the table below. The proposed project is in conformance with RPBCWD Rule J, Subsection 3.1.a.

Discharge Location	2-Year Discharge (cfs)		10-Year Discharge (cfs)		100-Year Discharge (cfs)		10-Day Snowmelt (cfs)	
	Ex	Prop	Ex	Prop	Ex	Prop	Ex	Prop
Wetland 25-11-C (onsite)	1.9	1.5	3.8	3.1	7.9	6.4	0.2	0.2
Wetland 24-44-B (onsite)	3.2	1.6	6.0	4.3	10.0	9.2	0.5	0.5
Adjacent, Offsite Wetland	0.4	0.1	0.7	0.3	1.3	0.5	0.0	0.0
To Hennepin Town Road	8.1	6.1	15.4	13.1	25.7	24.4	1.6	1.4
Clark Circle	0.1	0.1	0.1	0.1	0.2	0.2	<0.1	0.0

Volume Abstraction

Subsection 3.1.b of Rule J requires the abstraction onsite of 1.1 inches of runoff from the impervious surface of the parcel. An abstraction volume of 4,272 cubic feet is required from the 1.07 acres of regulated impervious area. Soil borings and infiltrometer tests were performed by Chosen Valley Testing show that soils in the project area are typically lean clay. Infiltration testing reveals infiltration rates of 0.0 in/hr beneath the proposed stormwater management features, indicating that infiltration is not feasible on this site. Because of the low in-situ infiltration measurements, the site is considered restricted.

For restricted sites, subsection 3.3 of Rule J requires rate control in accordance with subsection 3.1.a and that abstraction and water quality protection be provided in accordance with the following sequence:

- (a) Abstraction of 0.55 inches of runoff from site impervious surface determined in accordance with paragraphs 2.3, 3.1 or 3.2, as applicable, and treatment of all runoff to the standard in paragraph 3.1c; or
- (b) Abstraction of runoff onsite to the maximum extent practicable and treatment of all runoff to the standard in paragraph 3.1c; or
- (c) Off-site abstraction and treatment in the watershed to the standards in paragraph 3.1b and 3.1c.

Based on the measured infiltration testing results, the applicant is proposing rainwater harvesting and irrigation of available green space to provide volume abstraction. The abstraction volume provided by the irrigation is 0.35 inches from all regulated impervious area, and the RPBCWD engineer determines that this is the maximum extent practicable for the site.

The designed abstraction performance for the project site is summarized in the table below.

Required Abstraction Depth (inches)	Required Abstraction Volume (cubic feet)	Provided Abstraction Depth (inches) ¹	Provided Abstraction Volume (cubic feet)
0.55	2,136	0.35	1,352

Because the proposed stormwater reuse system requires consistent use at a specified rate to meet District requirements, performance monitoring for the site will be required to ensure that the project provides the proposed volume abstraction.

Plans indicate pretreatment for runoff entering the subsurface stormwater management facilities and rainwater harvesting system is being provided by sump manholes and vegetated strips, thus the proposed project conforms with RPBCWD Rule J, Subsection 3.1b.1.

Water Quality Management

Subsection 3.1.c of Rule J requires the Applicant provide for at least 60 percent annual removal efficiency for total phosphorus (TP), and at least 90 percent annual removal efficiency for total suspended solids (TSS) from site runoff, and no net increase in TSS or TP loading leaving the site from existing conditions. The Applicant is proposing to use two subsurface stormwater management facilities and a rainwater harvesting system to achieve the required TP and TSS removals.

Rule J, Subsection 3.5, allows the proposed project to utilize wetland buffers require by Rule D for compliance with the stormwater management criteria. The engineer concurs with the applicant’s assertion that the buffer areas are considered a self-mitigating stormwater feature (i.e., result in natural runoff conditions similar to a native landscape), thus the buffer areas were removed from the MIDS water quality modeling for the proposed project. In addition, the applicant incorporated a better site design technique outlined in the MPCA MN Stormwater Manual by including plans to restore additional area tributary to the wetland with native vegetation. Because the ability of the wetland buffer and native vegetation areas to perform as a better site design technique providing water quality treatment is dependent on runoff being

distributed across the pervious surface, the grading must incorporate flow dispersion techniques or other measures to prevent channelized flow.

The MIDS modeling results of runoff from impervious areas of the site summarized in tables below show the annual TSS and TP removal requirement is achieved and that there is no net increase in TSS and TP leaving the site.

Annual TSS and TP removal summary

Pollutant of Interest	Regulated Site Loading (lbs/yr)	Required Load Removal (lbs/yr)	Provided Load Reduction (lbs/yr)
Total Suspended Solids (TSS)	454	409 (90%)	417 (91.7%)
Total Phosphorus (TP)	2.5	1.5 (60%)	1.6 (62.2%)

Summary of net change in TSS and TP leaving the site

Pollutant of Interest	Existing Site Loading (lbs/yr)	Proposed Site Load after Treatment (lbs/yr)	Change (lbs/yr)
Total Suspended Solids (TSS)	289	38	-251
Total Phosphorus (TP)	1.6	0.9	-0.7

Because compliance with the RPBCWD water-quality requirements is dependent on the wetland buffers restoration, the maintenance requirements of the buffer areas must be documented in a declaration recorded after review and approval by RPBCWD. While the modeling indicates the proposed project is in conformance with Rule J, Subsection 3.1.c, the design drawings do not fully align with the modeling inputs. To conform with Rule J, Subsection 3.1.c the following revisions are needed:

- J1. Permit applicant must revise the drawings or provide documentations to ensure enhanced pretreatment of runoff to remove organics, pretreatment volume represents at least 25% of the water quality volume (or provide equivalent pretreatment), the sand filtration media incorporates 5-8% iron content, provide for maintenance and inspection of filtration media, and incorporate flow dispersion techniques or other measures to prevent channelized flow through wetland buffer.

Low Floor Elevation

All new buildings must be constructed such that the lowest floor is at least two feet above the 100-year high water elevation or one foot above the emergency overflow of a stormwater-management facility according to Rule J, Subsection 3.6a. In addition, a stormwater-management facility must be constructed at an elevation that ensures that no adjacent habitable building will be brought into noncompliance with this requirement according to Rule J, Subsection 3.6b.

The applicant is proposing to construct one building as part of the project with a low floor elevation of 885.0 ft. As shown in the table below, the proposed low floor is more than 2 feet above the 100-year flood elevation of the adjacent stormwater management facilities. The 100-year elevation of Wetland 25-11-C is higher than low floor elevations of the existing adjacent structures, therefore, the applicant applied the

alternative low floor criteria in Rule J, Appendix J.1 – Low-Floor Elevation Assessment. Groundwater was discovered in soil boring SB-02 at an elevation of 862.0 feet, 22.25 feet below the proposed low floor elevation. According to *Plot 1: Minimum Depth to Water Table for No Further Evaluation*, the minimum permissible depth to water table is 1.9 and 1.0 for the wetland based on the stormwater facility horizontal separation (see below table). Because the provided separation is greater than the minimum required, the elevation and location of the proposed stormwater facilities and existing wetlands meet the existing habitable structure requirements in Rule J, Subsection 3.6.

Structure	Low Floor Elevation of Nearest Building (ft)	Stormwater Facility	100-year Event Flood Elevation of Stormwater Facility (ft)	Freeboard to 100-year Event (ft)	Distance from Building to Adjacent Facility (ft)	Water Table Elevation (ft)	Minimum Permissible Depth to Water Table ¹ (ft)	Provided Depth from Low Floor Elevation to Water Table (ft)
9681 Clark Cir	875.0 ²	Wetland 25-11-C	881.34	-6.34	116.0	862.0	1.9	13.0
9671 Clark Cir	875.0 ²	Wetland 25-11-C	881.34	-6.34	137.0	862.0	1.0	13.0
Suite Living of Eden Prairie	885.00	Underground Filtration Basin 1	879.86	5.14	Appendix J.1 analysis not required.			
Suite Living of Eden Prairie	885.00	Underground Filtration Basin 2	877.69	7.31	Appendix J.1 analysis not required.			
Suite Living of Eden Prairie	885.00	Subsurface Rainwater Harvesting Tank	880.09	4.91	Appendix J.1 analysis not required.			
Suite Living of Eden Prairie	885.00	Wetland 25-11-C	881.34	3.66	Appendix J.1 analysis not required.			
Suite Living of Eden Prairie	885.00	Wetland 24-44-B	870.68	14.32	Appendix J.1 analysis not required.			

1- Using Plot 1 in Appendix J1 of RPBCWD Stormwater Management Rule

2- Approximated using topography and assumed basement elevation 10 feet below ground

Maintenance

Subsection 3.7 of Rule J requires the submission of a maintenance declaration. All stormwater management structures and facilities must be designed for maintenance access and properly maintained in perpetuity to assure that they continue to function as designed.

- J2. Permit applicant must provide a maintenance and inspection declaration as required by Rule J, Subsection 3.7. A maintenance declaration template is available on the permits page of the RPBCWD website (<http://www.rpbcwd.org/permits/>). The declaration must also include a stormwater reuse monitoring and reporting plan that includes protection and identification of the greenspace to be irrigated and metering of the volume of reuse. Because the ability of the wetland buffer and native vegetation areas to perform as a better site design technique providing water

quality treatment is dependent on runoff being distributed across the pervious surface, these buffer and native restoration areas must be incorporated into the maintenance declaration. A draft declaration must be provided for District review and approval prior to recordation and documentation of recordation must be provided to RPBCWD as a condition of issuance of the permit.

Chloride Management

Subsection 3.8 of Rule J requires the submission of chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan. To close out the permit and release the \$5,000 in financial assurance held for the purpose, Permit applicant must provide a chloride management plan that designates the individual authorized to implement the chloride management plan.

Wetland Protection

Because the proposed activities discharge to two wetlands on the site and one offsite wetland, they must conform to RPBCWD wetland protection criteria (Rule J, subsection 3.10).

The MNRAM analysis provided by the applicant shows Wetland 25-11-C (onsite) and the adjacent, offsite wetland as medium value and Wetland 24-44-B (onsite) as low value. The following tables summarize the allowable change in bounce and inundation duration from Table J1 of RPBCWD Rule J as well as the applicant’s analysis for wetland protection and the potential impacts on the wetlands. The RPBCWD engineer concurs in the analysis submitted and determines that proposed project conforms to the wetland bounce and inundation requirements.

Summary of allowable impacts on onsite wetland from Rule J, Table J1

Wetland Value)	Permitted Bounce for, 10-Year Event	Inundation Period for 1- and 2-Year Event	Inundation Period for 10-Year Event	Runout Control Elevation
Medium	Existing +/- 1.0 feet	Existing + 2 days	Existing + 14 days	0 to 1.0 ft above existing runout
Low	No Limit	Existing + 7 days	Existing + 21 days	0 to 4.0 ft above existing runout

Impacts of Project on Wetlands

Wetland	RPBCWD Wetland Value	Change in Bounce for, 10-Year Event (feet)	1-year change in Inundation Period (days)	2-year change in Inundation Period (days)	10-year change in Inundation Period (days)	Runout Control Elevation (feet)
Wetland 25-11-C	Medium	-0.1	0	0	0	No Change
Wetland 24-44-B	Low	-0.4	2.0	2.0	3.0	No Change
Adjacent, Offsite Wetland	Medium	-0.1	1.0	1.0	1.0	No Change

Rule J, Subsection 3.10b requires that any discharge to low or medium value wetland be treated to the water quality treatment criteria in Rule J, subsection 3.1c. The engineer concurs with the applicant’s assertion that the buffer areas are a self-mitigating stormwater feature (i.e., result in natural runoff

conditions similar to a native landscape). The impervious areas of the site are tributary to Wetland 24-44-B. As shown in the table below, the computations demonstrate the proposed stormwater facilities provide 92 % TSS and 62% TP removal from runoff prior to discharging to on-site Wetland 24-44-B, thus the area tributary to Wetland 24-44-B is in conformance with Rule J, Subsection 3.10b.

Pollutant of Interest	Regulated Disturbed Area Loading (lbs/yr)	Required Load Removal (lbs/yr)	Provided Load Reduction (lbs/yr)
Total Suspended Solids (TSS)	454	409 (90%)	417 (91.7%)
Total Phosphorus (TP)	2.5	1.5 (60%)	1.6 (62.2%)

Because there is a small disturbed, pervious area tributary to wetland 25-11-C and the adjacent, offsite wetland which is shown as native vegetation on the drawings but not contained within the wetland buffer or a conservation easement the following revisions are needed to conform with Rule J, subsection 3.10b:

- J3. The Applicant must provide updated drawing showing that all disturbed area directly tributary to wetland 25-11-C and the adjacent, offsite wetland will be dedicated as wetland buffer, preserved and maintained as native vegetation into perpetuity, or routed to a stormwater management facility must be provided in accordance with 3.1c.

Rule L: Permit Fee Deposit:

The RPBCWD permit fee schedule adopted in February 2020 requires permit applicants to deposit \$3,000 to be held in escrow and applied to cover the \$10 permit-processing fee and reimburse RPBCWD for permit review and inspection-related costs and when a permit application is approved, the deposit must be replenished to the applicable deposit amount by the applicant before the permit will be issued to cover actual costs incurred to monitor compliance with permit conditions and the RPBCWD Rules. A permit fee deposit of \$3,000 was received on February 24, 2022. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. Subsequently, if the costs of review, administration, inspections and closeout-related or other regulatory activities exceed the fee deposit amount, the applicant will be required to replenish the deposit to the original amount or such lesser amount as the RPBCWD administrator deems sufficient within 30 days of receiving notice that such deposit is due. The administrator will close out the relevant application or permit and revoke prior approvals, if any, if the permit-fee deposit is not timely replenished.

- L1. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. The amount needed to replenish the permit fee deposit is \$4,238 as of July 7, 2022.

Rule M: Financial Assurance:

	Unit	Unit Cost	# of Units	Total
Rules C: Silt fence:	LF	\$2.50	1,850	\$4,625
Inlet protection	EA	\$100	9	\$900
Rock Entrance	EA	\$250	1	\$250
Restoration	Ac	\$2,500	1.9	\$4,750
Rules D: Wetland and Creek Buffer	LS	\$5,000	1	\$5,000

	Unit	Unit Cost	# of Units	Total
Rules J: Stormwater Management Biofiltration basin with elevated drain tile to promote infiltration: 125% of engineer's opinion of cost (\$289,313)	EA	125% OPC	1	\$361,641
Chloride Management Plan	LS	\$5,000	1	\$5,000
Contingency (10%)		10%		\$38,217
Total Financial Assurance				\$420,383

Applicable General Requirements:

1. The RPBCWD Administrator and Engineer shall be notified at least three days prior to commencement of work.
2. Construction must be consistent with the plans, specifications, and models that were submitted by the applicant that were the basis of permit approval. The date(s) of the approved plans, specifications, and modeling are listed on the permit. The grant of the permit does not in any way relieve the permittee, its engineer, or other professional consultants of responsibility for the permitted work.
3. The grant of the permit does not relieve the permittee of any responsibility to obtain approval of any other regulatory body with authority.
4. The issuance of this permit does not convey any rights to either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
5. In all cases where the doing by the permittee of anything authorized by this permit involves the taking, using or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee, before proceeding therewith, must acquire all necessary property rights and interest.
6. RPBCWD's determination to issue this permit was made in reliance on the information provided by the applicant. Any substantive change in the work affecting the nature and extent of applicability of RPBCWD regulatory requirements or substantive changes in the methods or means of compliance with RPBCWD regulatory requirements must be the subject of an application for a permit modification to the RPBCWD.
7. If the conditions herein are met and the permit is issued by RPBCWD, the applicant, by accepting the permit, grants access to the site of the work at all reasonable times during and after construction to authorized representatives of the RPBCWD for inspection of the work.

Findings

1. The proposed project includes the information necessary, plan sheets and erosion control plan for review.
2. The proposed project will conform to Rules C, D and J if the Rule Specific Permit Conditions listed above are met.

Recommendation:

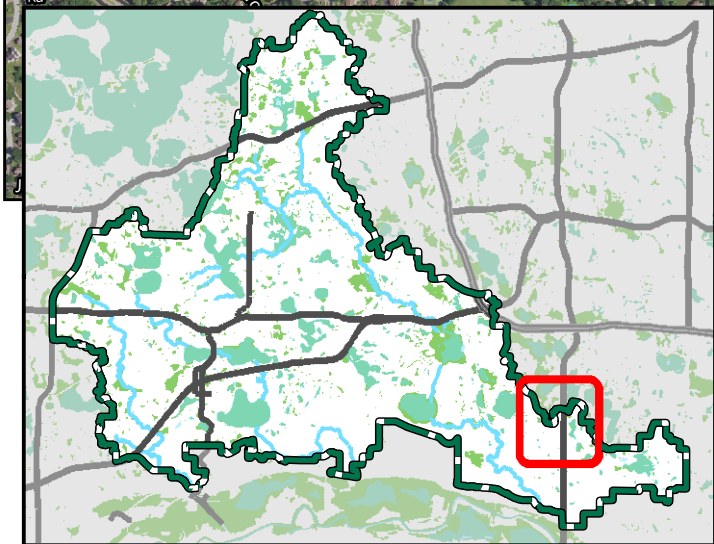
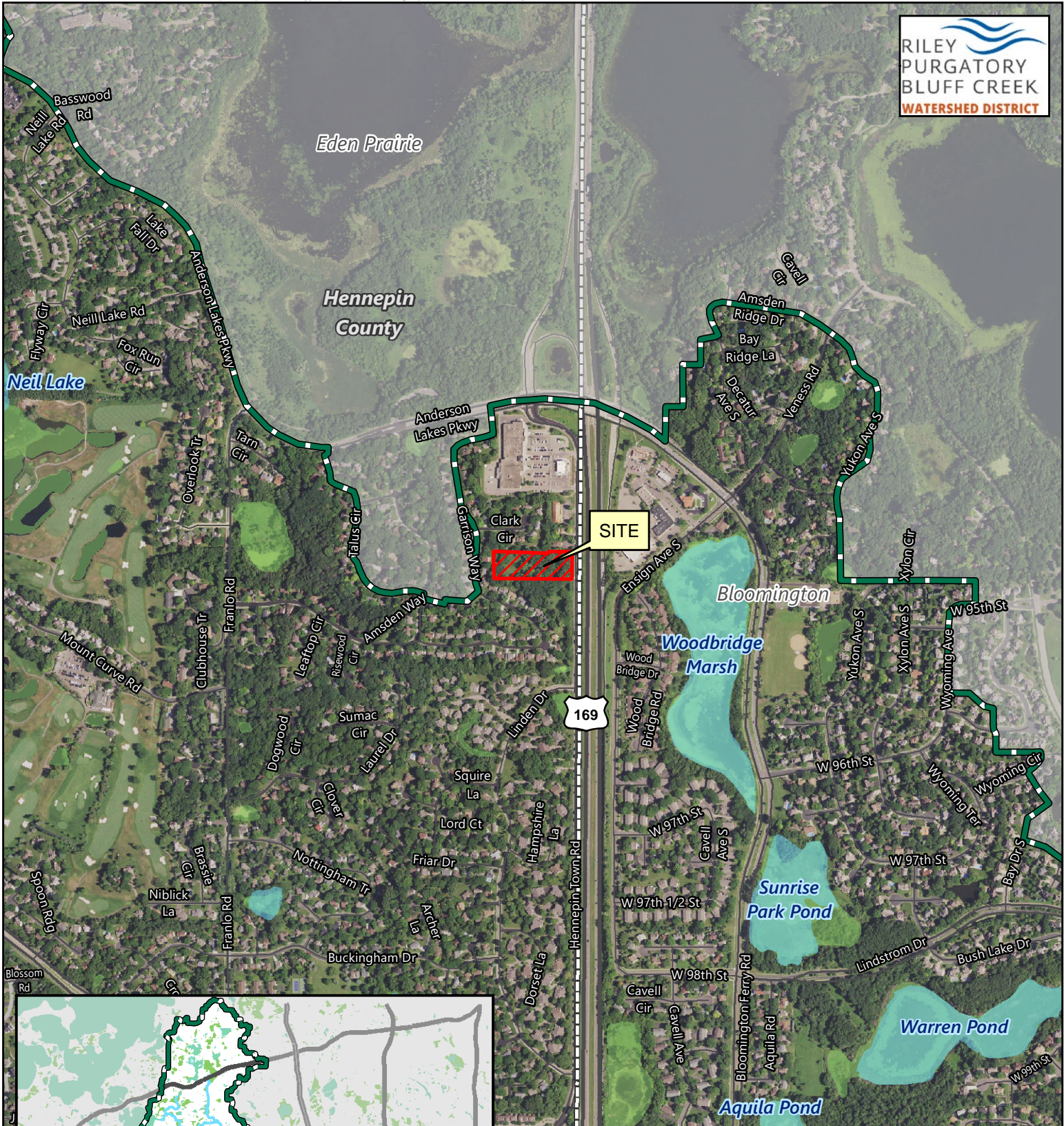
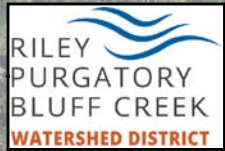
Approval of the permit contingent upon:

1. Financial Assurance in the amount of \$420,383.
2. Applicant providing the name and contact information of the individual responsible for erosion and sediment control at the site.
3. Receipt of revised drawings or documentation
 - a. Ensuring enhanced pretreatment of runoff to remove organics, pretreatment volume represents at least 25% of the water quality volume (or provide equivalent pretreatment), the sand filtration media incorporates 5-8% iron content, provide for maintenance and inspection of filtration media, and incorporate flow dispersion techniques or other measures to prevent channelized flow through the buffers.
 - b. Incorporating additional buffer signs must be shown on the drawings to delineate the westernmost buffer for Wetland 1.
 - c. Showing that disturbed area directly tributary to wetland 25-11-C and the adjacent, offsite wetland will be dedicated as wetland buffer, preserved and maintained as native vegetation into perpetuity, or routed to a stormwater management facility.
4. Receipt in recordation a maintenance declaration for maintenance of the buffer areas, soil rehabilitated areas restored with native vegetation, and stormwater management facilities. The declaration must also include a stormwater reuse monitoring and reporting plan that includes protection of the greenspace to be irrigated and metering of the volume of reuse, as well as maintenance specifics provided by the manufacturer(s) or installer(s) for the proprietary systems. Drafts of all documents to be recorded must be approved by the District prior to recordation.
5. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. The amount needed to replenish the permit fee deposit is \$4,238 as of July 7, 2022.

By accepting the permit, when issued, the applicant agrees to the following stipulations:

1. Continued compliance with General Requirements.
2. Per Rule J Subsection 4.5, upon completion of the site work, the permittee must submit as-built drawings demonstrating that at the time of final stabilization, the pretreatment manholes and subsurface stormwater facility conform to design specifications and function as intended and approved by the District. As-built/record drawings must be signed by a professional engineer licensed in Minnesota and include, but not limited to:
 - a. the surveyed bottom elevations, water levels, and general topography of all facilities;
 - b. the size, type, and surveyed invert elevations of all stormwater facility inlets and outlets;
 - c. the surveyed elevations of all emergency overflows including stormwater facility, street, and other;
3. Providing the following additional close-out materials:

- a. Documentation that disturbed pervious areas remaining pervious have been decompacted per Rule C.2c criteria
4. The work on the Suite Living of Eden Prairie development under the terms of permit 2022-010, if issued, must have an impervious surface area and configuration materially consistent with the approved plans. Design that differs materially from the approved plans (e.g., in terms of total impervious area) will need to be the subject of a request for a permit modification or new permit, which will be subject to review for compliance with all applicable regulatory requirements.
5. To close out the permit and release the \$5,000 in financial assurance held for the purpose of the chloride management, the permit applicant must provide a chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan at the site.



Permit Location Map



Feet



SUITE LIVING OF
EDEN PRAIRIE
Permit 2022-010

Riley Purgatory Bluff Creek
Watershed District

SUITE LIVING EDEN PRAIRIE

EDEN PRAIRIE, MINNESOTA

ISSUED FOR: WATERSHED RESUBMITTAL



ARCHITECT:
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DEVELOPER / PROPERTY OWNER:
SUITE LIVING COMPANIES, LLC
1504 BURKLE ROAD
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ENGINEER / LANDSCAPE ARCHITECT:
SURVEYOR:
CIVIL SITE GROUP
1715 UNIVERSITY AVENUE, S.W.
SUITE 200
ST. LOUIS PARK, MN 55416
612-251-6660

GEOTECHNICAL ENGINEER:
CROSNOW VALLEY TESTING, INC.
1800 W. 130TH STREET
ROOSTER, MN 55901
507-281-6586

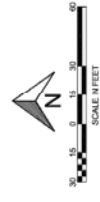
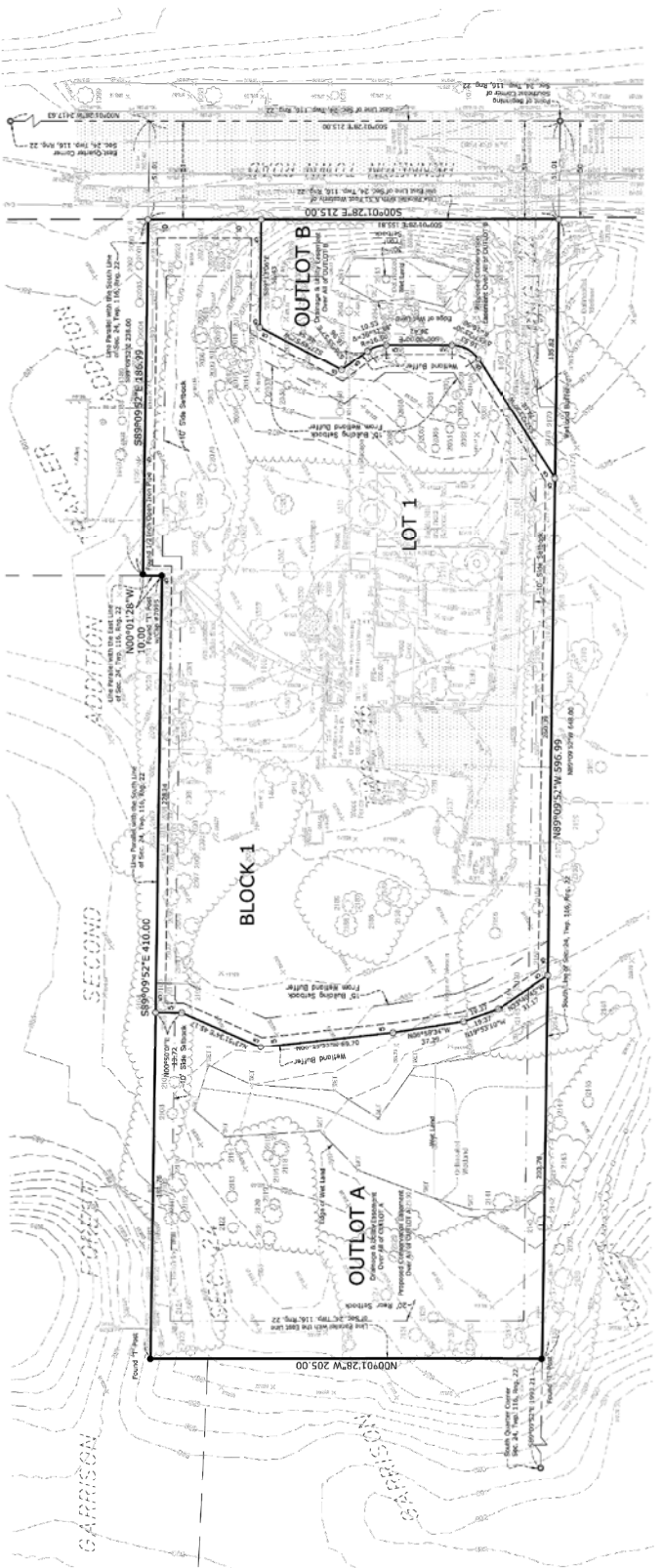
SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
V1.0	SITE SURVEY
V2.0	EXISTING CONDITIONS PLAN
C1.0	EXISTING CONDITIONS PLAN
C1.1	TREE PRESERVATION PLAN
C1.2	EXISTING CONDITIONS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN - SANITARY AND WATER
C4.1	UTILITY PLAN - SANITARY AND WATER
C4.2	UTILITY PLAN - STORM SEWER
C4.3	UTILITY PLAN - DRINKABLE LAYOUT
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS
C5.3	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE PLAN
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
SW1.4	SWPPP - ATTACHMENTS
SW1.5	SWPPP - ATTACHMENTS



Know what's below.
Call before you dig.

PRELIMINARY PLAT: SUITE LIVING OF EDEN PRAIRIE



Line-type & Symbol Legend

—	FIBER OPTIC	—	SEWER	—	AIR CONDITIONER
—	GARAGE	—	UTILITY MANHOLE	—	BOLLARD
—	WATER MAIN	—	SEWER MANHOLE	—	ELECTRIC MANHOLE
—	SEWER MAIN	—	SEWER CLEANOUT	—	PLAID FENCE
—	OVERHEAD UTILITIES	—	CATCH BASIN	—	FLARED END SECTION
—	ELECTRIC MAIN	—	ROOF RAIN	—	GAS VALVE
—	ELECTRIC SERVICE	—	TELEPHONE POLE	—	HANDBOOK SYMBOL
—	CABLE LINE	—	TELEPHONE MANHOLE	—	PROPERTY
—	CHALK LINE	—	ELECTRIC TRANSFORMER	—	WATER MANHOLE
—	WOODEN FENCELINE	—	TRANSFORMER	—	CONCRETE
—	CONCRETE	—	ELECTRIC METER	—	CAST IRON
—	CONCRETE SURFACE	—	CABLE TV BOX	—	POWER POLE
—	PAVED SURFACE	—	CONCRETE METER	—	60" W/RE
—	RETAINMENT SURFACE	—	POWER BOX MOUNTING	—	CONCRETE TREE
—	GRAVEL/ASPHALT SURFACE	—	SET IN/NO MONUMENT	—	DECORATIVE FENCE
—		—	CAST IRON MONUMENT	—	

ANNEX
Proposed Lot 1, Block 1 is 24.81' x 56.14' or 1,373.14 Area
Proposed LOT 1 OF AS 10,848.44 or 24.81' x 56.14' or 6,822.44 Area
Proposed OUTLOT A 10,848.44 or 24.81' x 56.14' or 6,822.44 Area
Proposed OUTLOT B 10,848.44 or 24.81' x 56.14' or 6,822.44 Area

PLAT NOTES
This plat is prepared in accordance with Minnesota Statutes, Chapter 562A, Section 03.01, and Minnesota Statutes, Chapter 562A, Section 03.02.

PRELIMINARY PLAT GENERAL NOTES

PROPERTY DESCRIPTION:
A portion of the southeast quarter of Section 24, Township 118N, Range 22E, County of Hennepin, Minnesota.

DATE OF PREPARATION:
08/11/2022

APPLICANT:
Suite Living/Hampton Companies
1824 Burton Rd, White Bear Lake, MN 55110

RECORDING:
This plat is based on the NAD 83 datum. All bearings are in the top of the plat of the plat. The bearings are based on the NAD 83 datum. All bearings are in the top of the plat of the plat. The bearings are based on the NAD 83 datum. All bearings are in the top of the plat of the plat.

NOTES:
1. The plat is based on the NAD 83 datum. All bearings are in the top of the plat of the plat. The bearings are based on the NAD 83 datum. All bearings are in the top of the plat of the plat.

DATE OF PRELIMINARY PLAT
08/11/2022

DATE OF SURVEY
08/11/2022

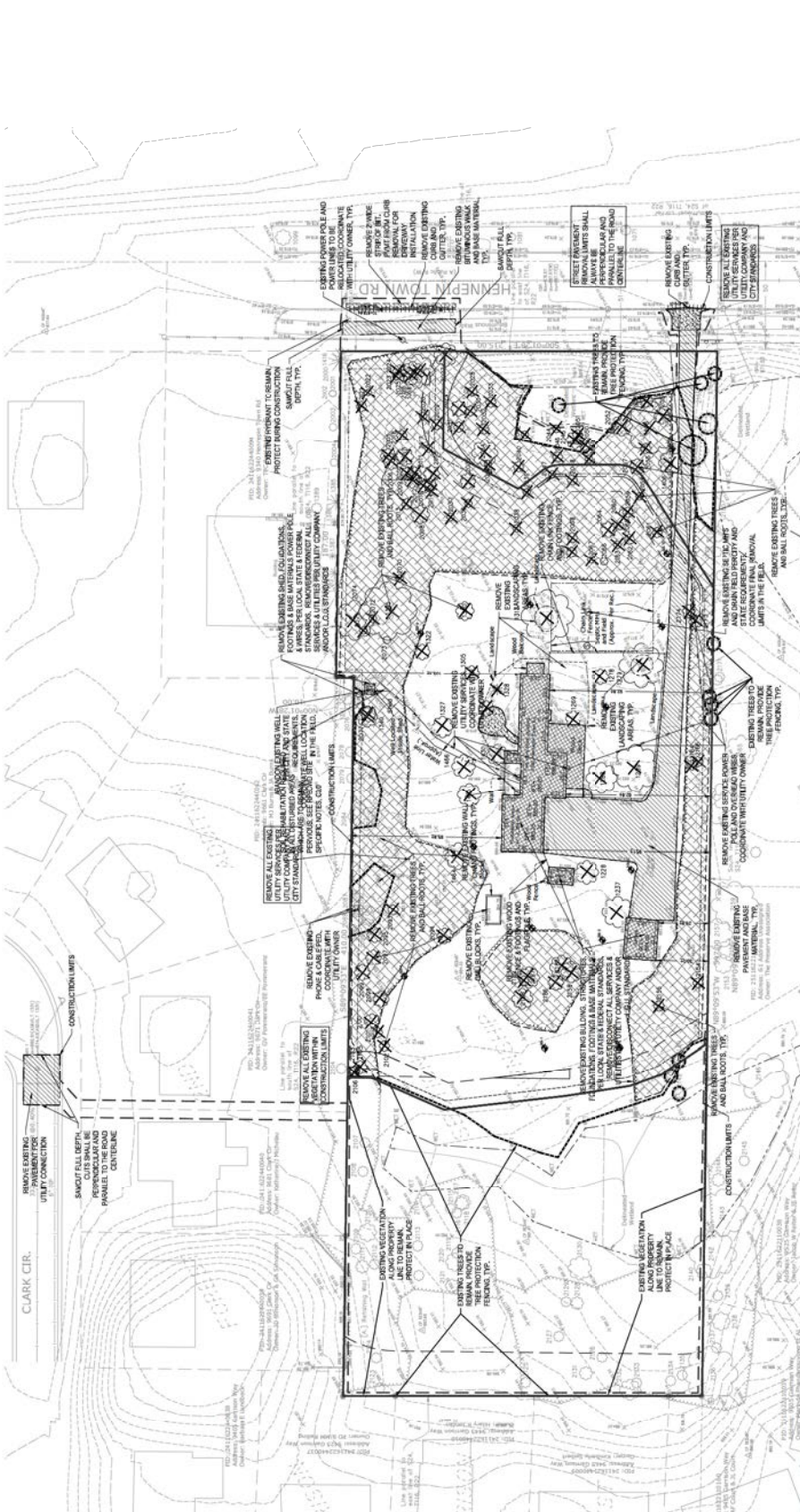
DATE OF RECORDATION
08/11/2022

SCALE
AS SHOWN

PROJECT NO.
2202020434

REVISION SUMMARY

NO.	DATE	DESCRIPTION
1	11/15/2017	ISSUE FOR PERMIT
2	11/15/2017	REVISED PER CITY COMMENTS
3	11/15/2017	REVISED PER CITY COMMENTS
4	11/15/2017	REVISED PER CITY COMMENTS
5	11/15/2017	REVISED PER CITY COMMENTS
6	11/15/2017	REVISED PER CITY COMMENTS
7	11/15/2017	REVISED PER CITY COMMENTS
8	11/15/2017	REVISED PER CITY COMMENTS
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29	11/15/2017	REVISED PER CITY COMMENTS
30	11/15/2017	REVISED PER CITY COMMENTS



- REMOVAL NOTES:**
- SEE EROSION CONTROL PLAN (SWPPY) FOR CONSTRUCTION EROSION CONTROL AND LOCAL REGULATIONS.
 - REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
 - EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS ON THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
 - EXISTING PAVEMENTS SHALL BE SAWCUT TO A LEGAL OFF-SET LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - EXISTING PAVEMENTS SHALL BE SAWCUT AND PROTECTED NOTES SHOWN ON THE DRAWINGS ARE APPROPRIATE, COORDINATE WITH PROPOSED PLANS.
 - EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
 - PROPERTY LINES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT AND SHALL NOT BE REMOVED UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
 - MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
 - PROPERTY LINES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE MAINTAINED IN A MANNER APPROVED BY THE ENGINEER AND ARCHITECT OR IN ACCORDANCE WITH THE CITY.
 - PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
 - SITE SECURITY SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
 - VEHICLE ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL OBSTACLES ADJACENT TO THE SITE BE BLOCED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
 - ALL UTILITIES SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.
 - PROVIDE AN APPROVED INSPECTION TREATMENT FOR ALL ASH TREES REMAINING ON THE SITE THAT ARE TO BE MAINTAINED. THE TREATMENT SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - REMOVE EXISTING PAVEMENT AND ALL BASE MATERIAL, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING VEGETATION, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING TREES, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING UTILITY LINES, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING CONCRETE, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING CURBS, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING SIDEWALKS, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING DRIVEWAYS, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING PATIOS, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
 - REMOVE EXISTING TERRACES, PERMANENTLY FILL WITH GRANULAR FILL, AND RECONSTRUCT WITH LOCAL GOVERNING AGENCY'S SPECIFICATIONS.
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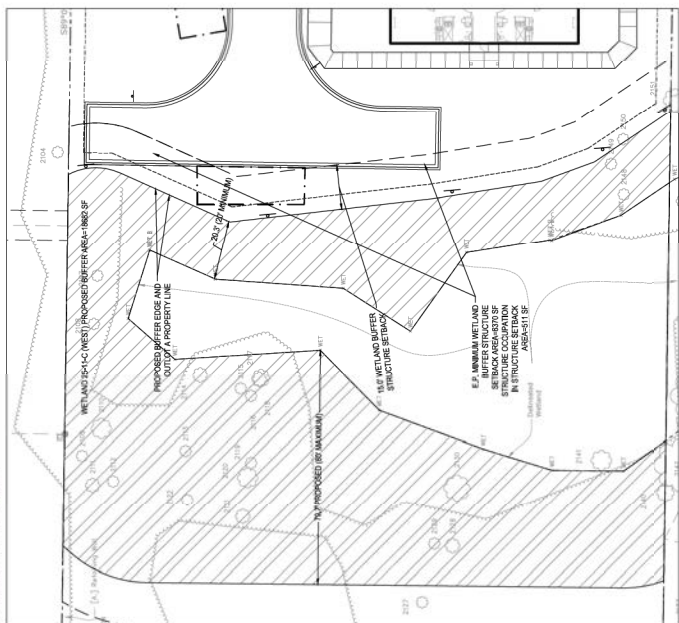


1 TREE PROTECTION LIMITS

Know what's below. Call before you dig.

TREE INVENTORY TRUNK SIZE	TREE INVENTORY BRANCH SIZE			SPECIES	1	2	3	TREE	CONSERVE	REMOVE	PRESERVE
	1	2	3								
1058 ASH				ASH							
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1084 ASH				ASH							
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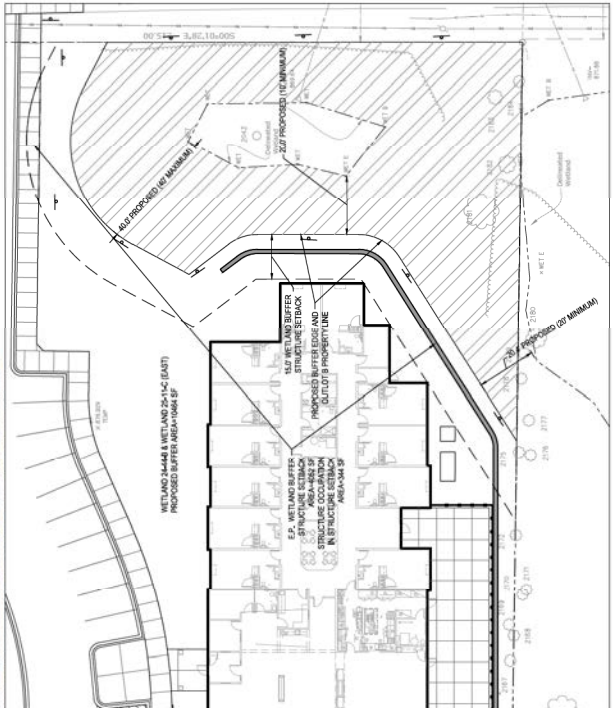
WETLAND 1 PROPOSED



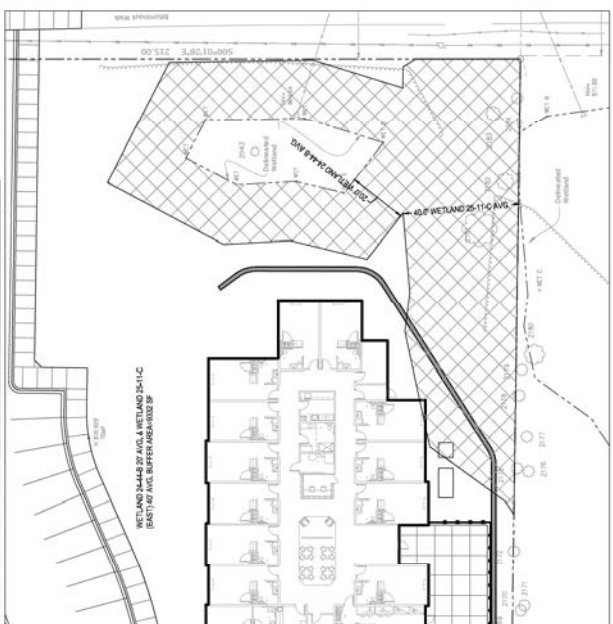
WETLAND 25-11-C (WEST) 40' AVERAGE



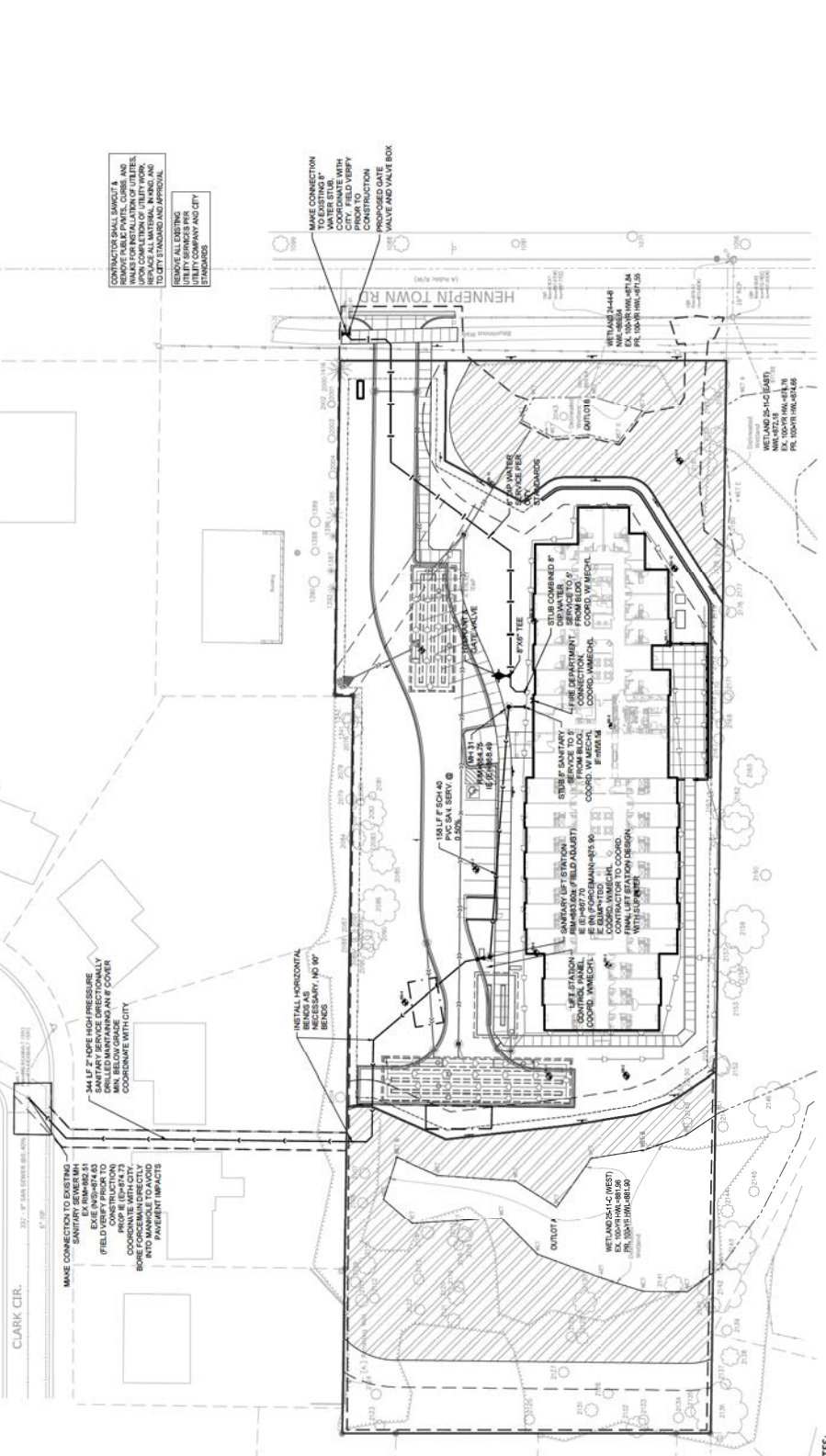
WETLAND 24-44-B & WETLAND 25-11-C (EAST) PROPOSED



WETLAND 24-44-B 20' AVERAGE & WETLAND 25-11-C (EAST) 40' AVERAGE



REVISION SUMMARY	
NO.	DATE
1	ISSUED FOR PERMIT
2	REVISED PER CITY COMMENTS
3	REVISED PER CITY COMMENTS
4	REVISED PER CITY COMMENTS
5	REVISED PER CITY COMMENTS
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CITY OF EDEN PRAIRIE UTILITY NOTES

1. THE SANITARY SEWER FORCE MAIN WILL REQUIRE AN ENCUMBRANCE AGREEMENT FROM THE CITY OF EDEN PRAIRIE COVERING MAINTENANCE RESPONSIBILITIES.
2. A FEE FROM THE ENGINEERING DIVISION OF THE CITY OF EDEN PRAIRIE WILL BE REQUIRED FOR THE CITY OF EDEN PRAIRIE TO REVIEW AND APPROVE THE UTILITY PLAN UNDER THE JURISDICTION OF THE CITY OF EDEN PRAIRIE.

UTILITY LEGEND:

- MANHOLE
- CATCH BASIN
- GATE VALVE AND VALVE BOX
- PROPOSED FIRE HYDRANT
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- FES AND 90° BPP

GENERAL UTILITY NOTES:

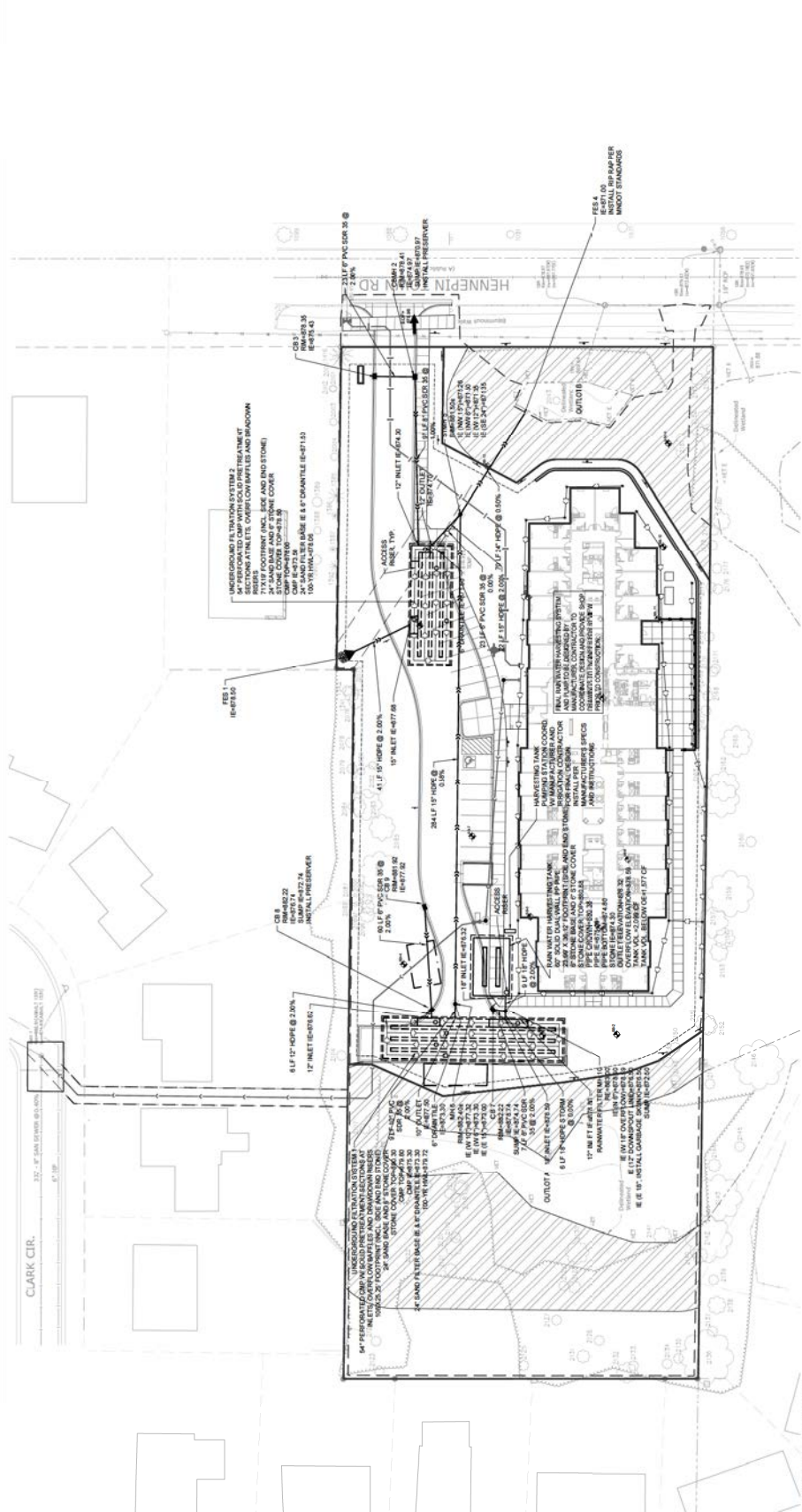
1. SEE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
2. CONTRACTOR SHALL FIELD (VERIFY) LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
3. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON THE CITY OF EDEN PRAIRIE UTILITY RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
4. UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE PIPE INSTALLATION AND TO THE CURRENT EDITION OF STANDARD SPECIFICATIONS FOR SANITARY SEWER PIPE INSTALLATION OF THE STATE OF MINNESOTA (SPECS).
5. ALL WATER PIPE SHALL BE GALVNEUM OR GALVNEUM WITH POLYETHYLENE GLASS REINFORCEMENT (GALVNEUM/GRE) UNLESS OTHERWISE NOTED.
6. ALL SANITARY SEWER PIPE SHALL BE 24" POLYETHYLENE GLASS REINFORCEMENT (GALVNEUM/GRE) UNLESS OTHERWISE NOTED.
7. ALL STORM SEWER PIPE SHALL BE 24" POLYETHYLENE GLASS REINFORCEMENT (GALVNEUM/GRE) UNLESS OTHERWISE NOTED.
8. ALL STORM SEWER PIPE SHALL BE 24" POLYETHYLENE GLASS REINFORCEMENT (GALVNEUM/GRE) UNLESS OTHERWISE NOTED.
9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
10. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON THE CITY OF EDEN PRAIRIE UTILITY RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
11. FINAL CONNECTION TO ALL MAINS SHALL BE MADE IN ACCORDANCE WITH THE MECHANICAL AND ELECTRICAL PLANS.
12. ALL CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 2.54 FEET. ALL CATCH BASINS IN UNPAVED AREAS SHALL BE SUMPED 0.5 FEET.
13. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
14. HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
15. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATER MAINS, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO AVOID OBSTRUCTIONS OR TO MAINTAIN A MINIMUM COVER OF 8 FEET.
16. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 18 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
17. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
18. CONNECTIONS TO EXISTING UTILITIES SHALL BE COORDINATED.
19. COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
20. COORDINATE INSTALLATION SCHEDULING OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.



Know what's below.
 Call before you dig.

REVISION SUMMARY

NO.	DATE	DESCRIPTION
1	03/22/22	ISSUE FOR PERMITS
2	03/22/22	ISSUE FOR PERMITS
3	03/22/22	ISSUE FOR PERMITS
4	03/22/22	ISSUE FOR PERMITS
5	03/22/22	ISSUE FOR PERMITS
6	03/22/22	ISSUE FOR PERMITS
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18	03/22/22	ISSUE FOR PERMITS
19	03/22/22	ISSUE FOR PERMITS
20	03/22/22	ISSUE FOR PERMITS



CITY OF EDEN PRAIRIE UTILITY NOTES:
 1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:

- MANHOLE
- CATCH BASIN
- GATE VALVE AND VALVE BOX
- PROPOSED FIRE HYDRANT
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- FEES AND RP/MP

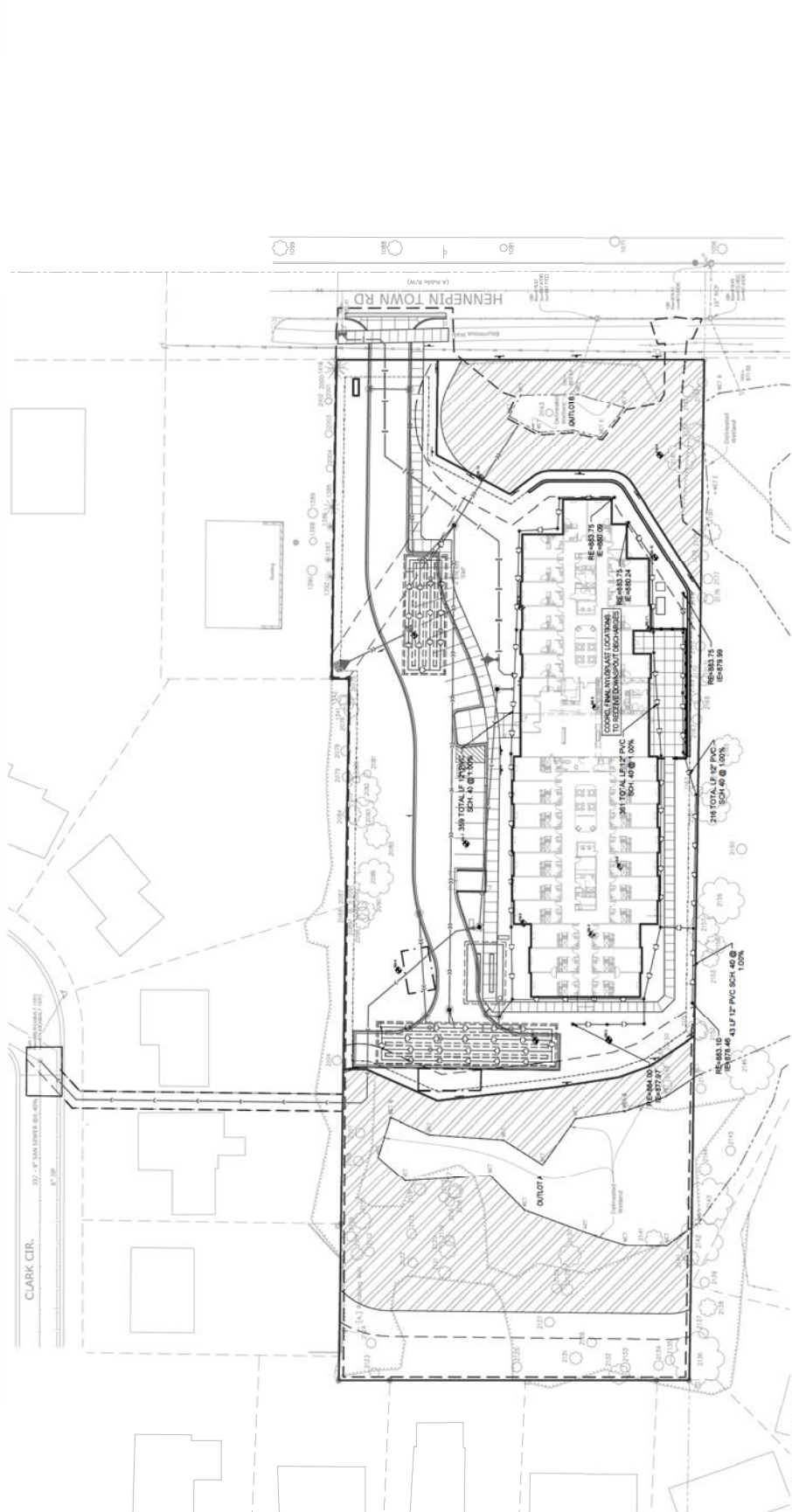
Know what's below. Call before you dig.

10' 0" 1" = 30'

- GENERAL UTILITY NOTES:**
- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
 - CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
 - ALL UTILITIES SHALL BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (DNR) AND THE CITY OF EDEN PRAIRIE. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MINNESOTA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (DNR) AND THE CITY OF EDEN PRAIRIE SPECIFICATIONS.
 - CASTINGS SHALL BE CALLED FROM STRUCTURE REMOVALS AND REASSED OR PLACED AT THE DIRECTION OF THE OWNER.
 - ALL WATER PIPE SHALL BE CHASE SCHEDULE 40 (SCH 40) PIPE (DIP) AWWA C151, AWWA C151, AWWA C151 UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER SHALL BE 30" POLYETHYLENE GLASS REINFORCED (PEGR) PIPE (DIP) AWWA C900, AWWA C900 UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714/2206 WITH ASTM D2017 SPEC FITTINGS UNLESS OTHERWISE NOTED.
 - PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURES OR TO END OF FLARED END SECTION UNLESS OTHERWISE NOTED.
 - PIPE CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH AWWA C900 AND AWWA C900 UNLESS OTHERWISE NOTED.
 - PIPE CONNECTIONS TO EXISTING UTILITIES SHALL BE MADE IN ACCORDANCE WITH AWWA C900 AND AWWA C900 UNLESS OTHERWISE NOTED.
 - CATCH BASINS AND MANHOLES IN WAVED AREAS SHALL BE SUMPED 0.54 FEET. ALL CATCH BASINS IN GRITERS SHALL BE SUMPED 0.15 FEET PER DETAIL. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
 - ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
 - HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
 - A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL UTILITIES UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN PROPER COVER DEPTH THROUGHOUT THE LIFE OF THE UTILITY.
 - A MINIMUM OF 6 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
 - CONNECTIONS TO EXISTING STRUCTURES SHALL BE COORDINATED.
 - COORDINATE LOCATIONS AND DEPTHS OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
 - COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- CONTRACTOR SHALL COORDINATE:**
- CONTRACTOR SHALL COORDINATE CONNECTIONS OF BRIGHAM SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF PERMITS.
 - CONTRACTOR SHALL MAINTAIN ACCESS PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
 - ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GATED OR WATER TIGHT. APPROVED REINFORCED RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, OR OTHER STRUCTURES.
 - ACCORDANCE WITH RULES, CHAPTER 47H, SECTION 1.1003.

REVISION SUMMARY

NO.	DATE	DESCRIPTION



- GENERAL UTILITY NOTES:**
- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
 - CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
 - ALL UTILITIES SHALL BE MARKED WITH CONTRASTING OR HIGHLY VISIBLE MATERIALS (ORANGE OR RED) TO INDICATE THEIR LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION (MINNESOTA STATE PUBLIC WORKS CODE AND THE ENGINEERING AND SURVEYING BOARD OF THE STATE OF MINNESOTA, DEPARTMENT OF COMMERCE) AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
 - CATCHINGS SHALL BE AWAY FROM STRUCTURE REMOVALS AND RELEASED OR PLACED AT THE DISCRETION OF THE OWNER.
 - ALL WATER PIPE SHALL BE CLASS 50 DUCTILE IRON PIPE (DIP) AWWA C151, ARIE A19.6 AWWA C115, AWWA C153 UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER SHALL BE 30" POLYETHYLENE GLASS REINFORCED PIPES (PGRPP) AWWA C900, OR 36" AWWA C900 UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER SHALL BE 30" POLYETHYLENE GLASS REINFORCED PIPES (PGRPP) AWWA C900, OR 36" AWWA C900 UNLESS OTHERWISE NOTED.
 - PIPE ENDINGS SHALL BE CUT AT THE CENTER OF STRUCTURES OR TO THE END OF FLARED END SECTION.
 - ALL OPEN ENDS SHALL BE PLUGGED WITH APPROVED PLUGS.
 - ALL CONNECTIONS TO BUILDINGS SHALL BE MADE AT THE POINT OF ENTRY TO THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE 5' DIA. ALL CATCH BASINS IN CUTTERS SHALL BE 5' DIA. ALL CATCH BASINS SHALL BE 3' DIA. UNLESS OTHERWISE NOTED.
 - ALL PRE-INSTALLED MANHOLES SHALL BE LOCATED 3 FEET FROM BACK OF CURB UNLESS OTHERWISE NOTED.
 - A MINIMUM OF 6 FEET COVER IS REQUIRED OVER ALL WATER MAIN UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO AVOID OBSTRUCTIONS AND SHALL BE DETERMINED BY THE ENGINEER.
 - ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
 - CONNECTIONS TO EXISTING STRUCTURES SHALL BE COORDINATED.
 - COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
 - COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.

CITY OF EDEN PRAIRIE UTILITY NOTES:

- RESERVED FOR CITY SPECIFIC UTILITY NOTES.

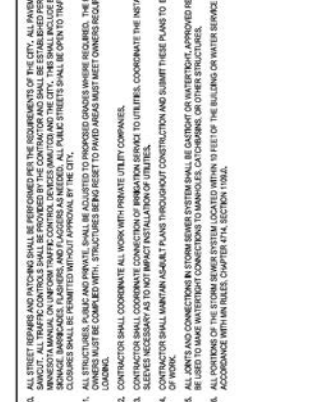
1. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE MADE TO EXISTING PAVEMENT. ALL PATCHES SHALL BE TO MATCH EXISTING PAVEMENT. ALL PATCHES SHALL BE TO MATCH EXISTING PAVEMENT. ALL PATCHES SHALL BE TO MATCH EXISTING PAVEMENT.

2. CONTRACTOR SHALL COORDINATE CONNECTIONS TO PUBLIC UTILITIES. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ADJACENT PLANTS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.

3. CONTRACTOR SHALL MAINTAIN ADJACENT PLANTS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.

4. ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GROUTED OR WATER TIGHT. APPROVED REINFORCED RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, OR OTHER STRUCTURES.

5. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.



UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.



Know what's below.
 Call before you dig.

CIVIL SITE SPECIAL CONDITIONS

CHLORINE BLEACH

The following ASTM specifications have been referenced in the Specification and shall meet the...
This work shall consist of the disinfection of pipelines and conduits by the installation of a resin...

- Refer to...
ASTM - D1216 Standard Practice for Rehabilitation of Existing Pipelines and Conduits by the...
ASTM - D1216 Standard Practice for Rehabilitation of Existing Pipelines and Conduits by the...
ASTM - D1216 Standard Practice for Rehabilitation of Existing Pipelines and Conduits by the...

The required minimum CPP wall thickness shall be based on a minimum, on the physical properties...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Table with 2 columns: Property and Test Method. Rows include Density, Tensile Strength, Elongation, etc.

Material Testing Requirements...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Construction Requirements...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Water Usage...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

ASTM - D1216 Standard Practice for Rehabilitation of Existing Pipelines and Conduits by the...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Material Testing Requirements...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Construction Requirements...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Water Usage...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

All materials ordered for this work shall be approved...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Material Testing Requirements...
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Construction Requirements...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Water Usage...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

The wall order of the interior pipe surface of CPP after installation shall be a light reflective color...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

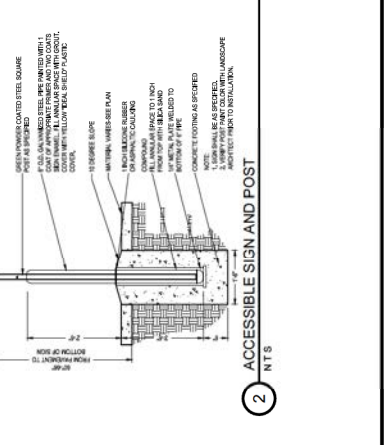
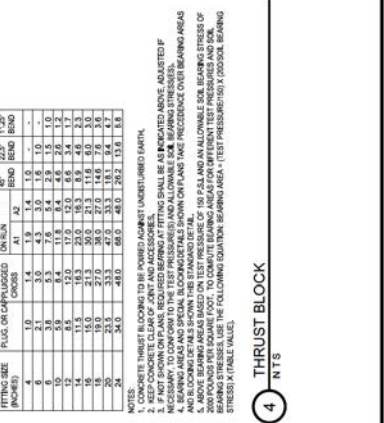
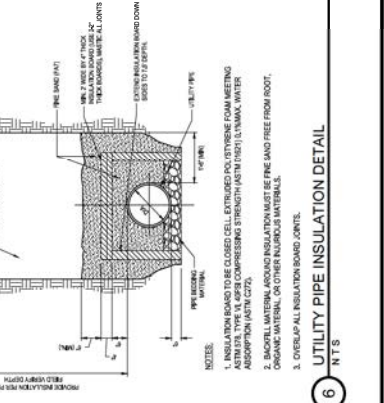
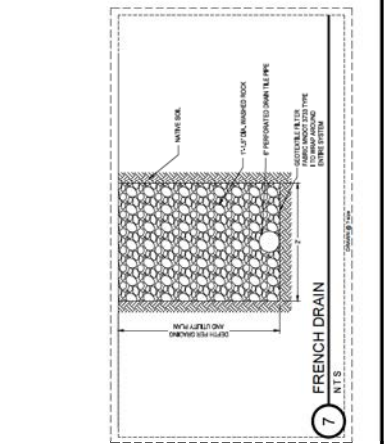
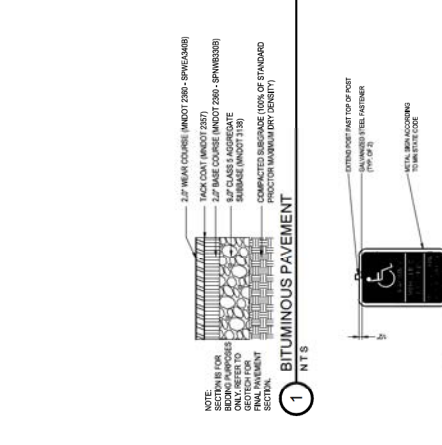
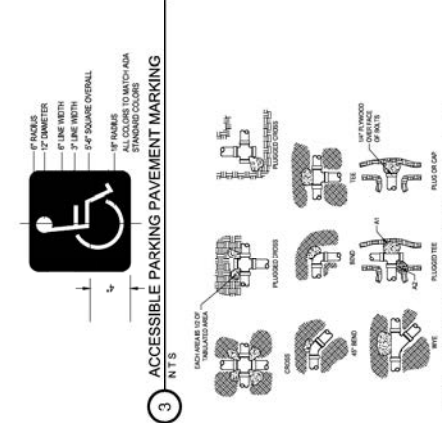
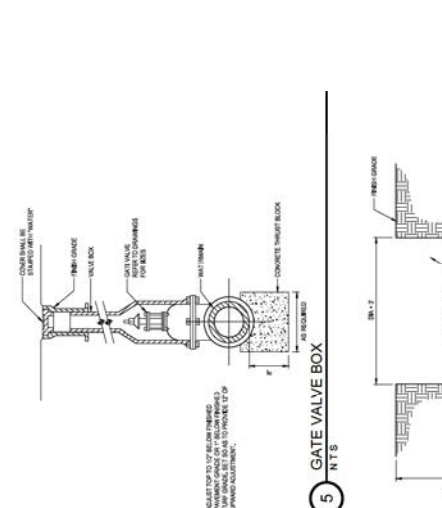
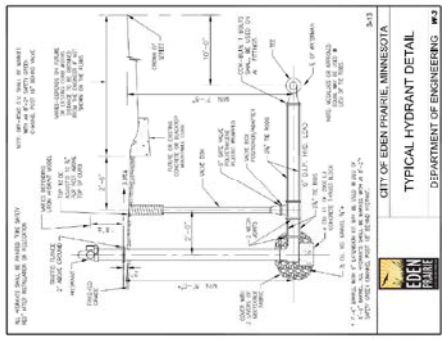
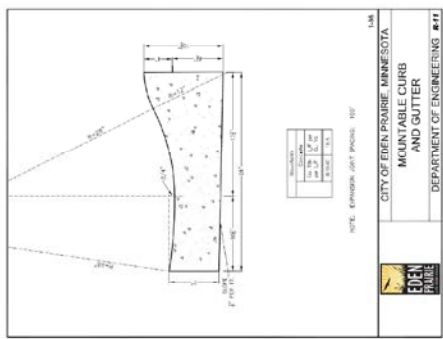
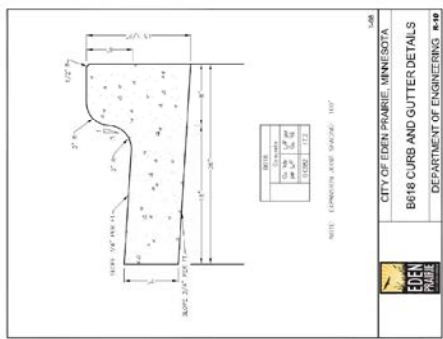
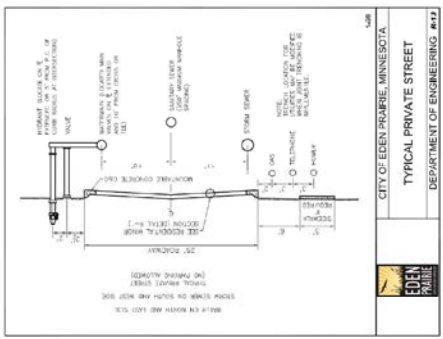
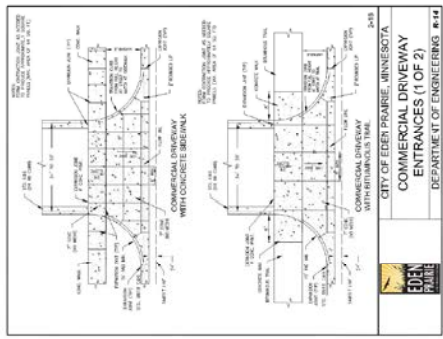
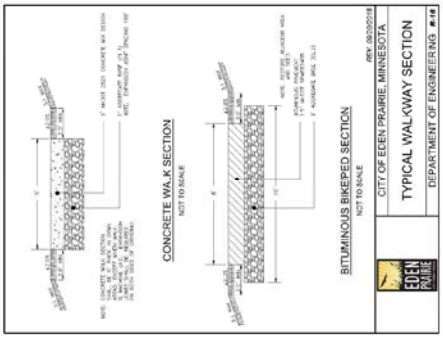
Material Testing Requirements...
The Contractor shall verify the CPP wall thickness shall be based on a minimum, on the physical properties...

Construction Requirements...
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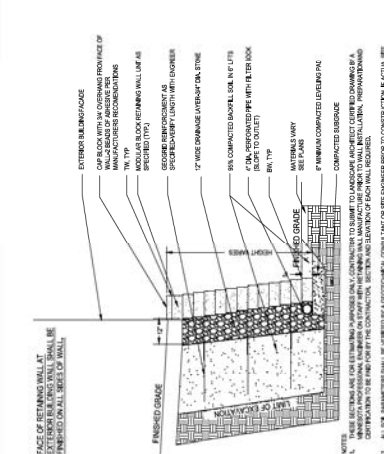
REVISION SUMMARY

NO.	DATE	DESCRIPTION
1	08/20/2018	ISSUED FOR PERMIT
2	08/20/2018	ISSUED FOR PERMIT
3	08/20/2018	ISSUED FOR PERMIT
4	08/20/2018	ISSUED FOR PERMIT
5	08/20/2018	ISSUED FOR PERMIT
6	08/20/2018	ISSUED FOR PERMIT
7	08/20/2018	ISSUED FOR PERMIT
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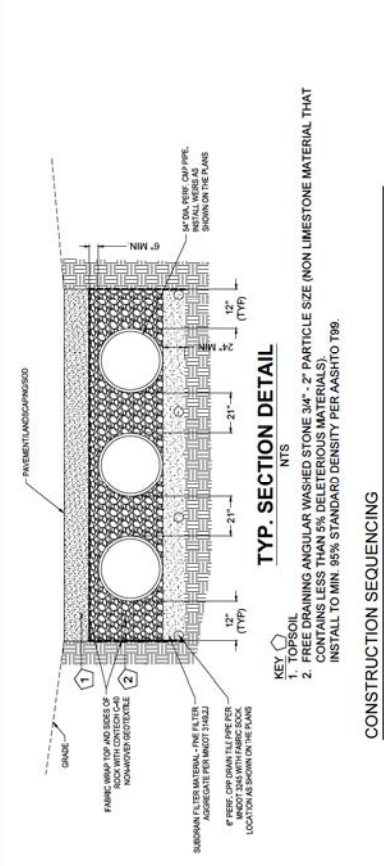




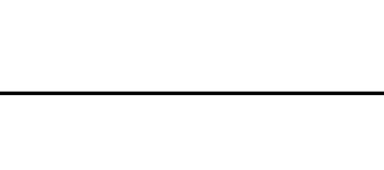
- CONSTRUCTION SEQUENCING**
1. INSTALL LIME FRINGE AND/OR OTHER APPROPRIATE TEMPORARY EROSION CONTROL MEASURES PRIOR TO LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
 2. ALL DOWNSTREAM FERMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP-DRAINAGE AND DISTURBING ACTIVITY BEGINS.
 3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES.
 4. INSTALL LULULES WATER SAMPLING SENSORS, ELECTRIC PHONE, FIBER OPTIC, ETC. PRIOR TO SETTING FINAL GRADE OF RETENTION DEVICE.
 5. PERFORM ALL OTHER SITE IMPROVEMENTS.
 6. SEED AND MULCH ALL AREAS AFTER DRAINANCE.
 7. INSTALL RETENTION DEVICE UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA.
 8. PERFORM TEMPORARY AND PERMANENT EROSION CONTROL PRACTICES.
 9. PLANT AND MULCH SITE.



- NOTES**
1. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RETAINING WALL MANUFACTURER'S RECOMMENDATIONS.
 2. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RETAINING WALL MANUFACTURER'S RECOMMENDATIONS.
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 9. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RETAINING WALL MANUFACTURER'S RECOMMENDATIONS.
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EDEN PRAIRIE
 9360 HENNEPIN TOWN ROAD, EDEN PRAIRIE, MN 55424
 SUITE LIVING/HAMPION COMPANIES, LLC

CLEAN WATER STARTS HERE
 Wetland Buffer Sign
 No Rowing Beyond This Line
 Riley & Associates
 Wetland Buffer Sign
 Minneapolis, MN

7 WETLAND BUFFER SIGN
 NTS

**4\"/>
 NTS**

3 RETAINING WALL
 NTS

1 UNDERGROUND FILTRATION SYSTEMS
 NTS

CIVIL DETAILS
C5.2

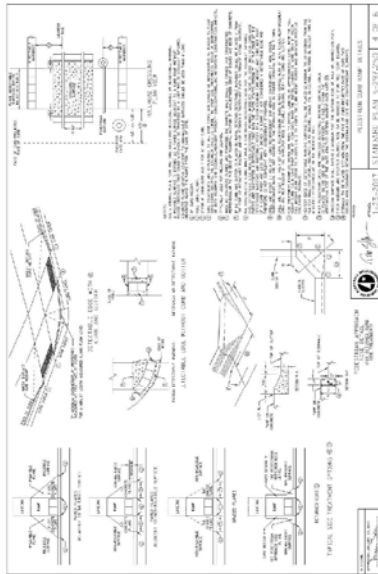
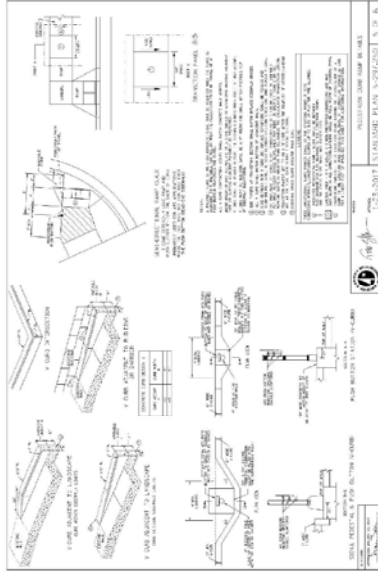
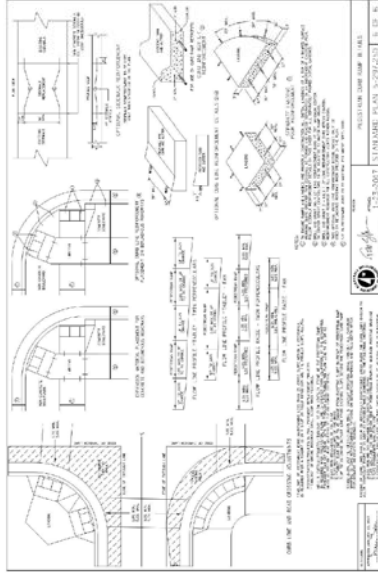
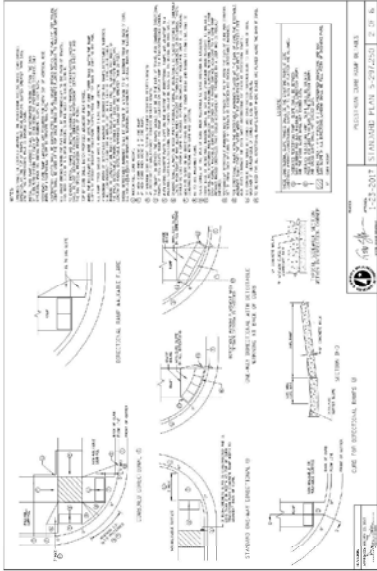
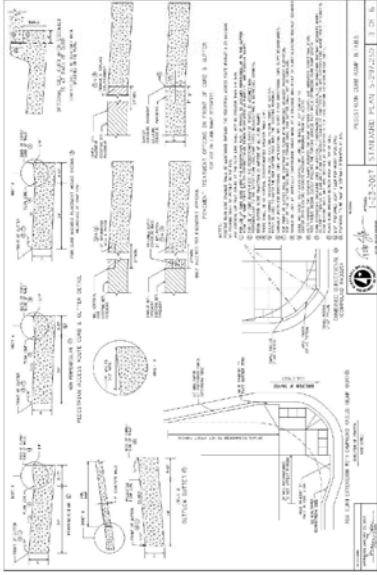
THESE PLANS HAVE BEEN PREPARED BY THE ENGINEER OR ARCHITECT SIGNING THESE PLANS AND I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES UNDER THE LAWS OF THE STATE OF MINNESOTA

ROBERT A. DAVIS
 DATE ISSUED: 08/08/2011
 CONTRACT NO. 08011

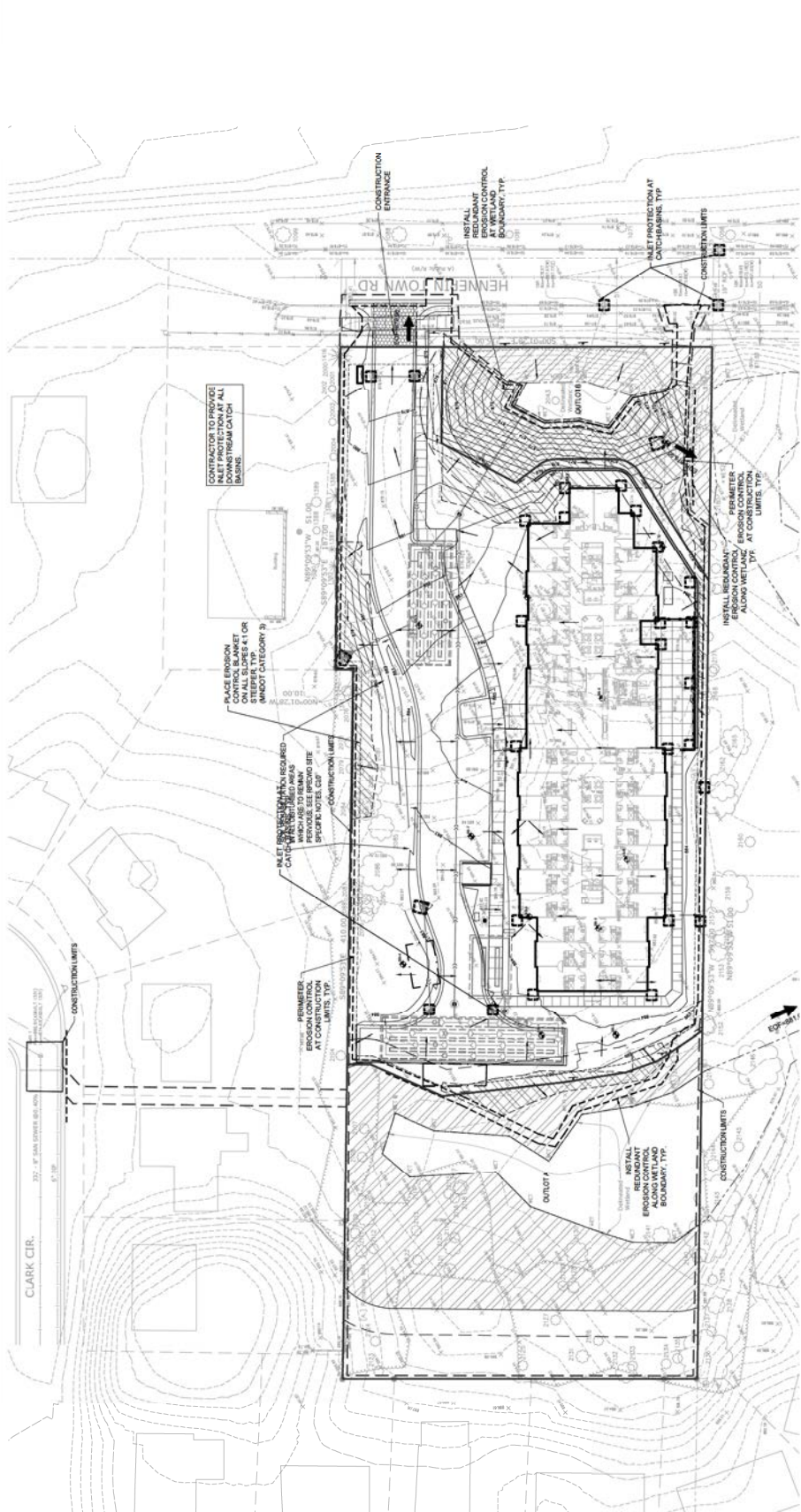
INDUSTRY/INITIAL SUMMARY

DATE DESCRIPTION
ISSUED FOR PERMIT
REVISION SUMMARY
DATE DESCRIPTION

NO. OF SHEETS
NO. OF SHEETS USED
REVISION SUMMARY
DATE DESCRIPTION



PROJECT NO. 227-1-10-0000
 DATE: 08/20/2023
 DRAWN BY: R. J. LARSEN
 CHECKED BY: J. H. HANSEN
 PROJECT NAME: RILEY PURGATORY BLUFF CREEK, SITE SPECIFIC NOTES
 SHEET NUMBER: SW1.1
 DATE: 08/20/2023



RIFCWD EROSION CONTROL NOTES:

1. SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERMANENT SHALL BE RECOMPACTED TO ORIGINAL DENSITY AND REFINISHED TO ORIGINAL FINISH. AMOUNT AND/OR DEPTH OF 18 INCHES TRUCK CARS TO AVOID REDUCING OR OTHER STABILIZATION.
2. THE CONTRACTOR MUST INSPECT LAMINAR AND RESUME ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY 30 DAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING CONSTRUCTION MEASURES THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING CONSTRUCTION MEASURES THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING CONSTRUCTION MEASURES THROUGHOUT THE PROJECT.
3. METEOROLOGICAL AND SOIL CONCERNS MUST BE MONITORED DURING RETENTION DRAINAGE OF NATIVE TOPSOIL TO THE GREATEST EXTENT PRACTICABLE.
4. FINAL SITE STABILIZATION MEASURES MUST INCLUDE PERMANENT STABILIZATION OF ALL AREAS SUBJECT TO DISTURBANCE. SPOILING SHALL AT LEAST SIX INCHES UNDER SOIL DURING FINAL SITE TREATMENT AND/OR TOPSOIL HAS BEEN REMOVED.
5. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE SITE.

SWPPP NOTES:

1. THIS PROJECT IS GREATER THAN ONE ACRE AND WILL REQUIRE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
2. SEE SHEETS SW1.0 - SW1.8 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
3. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING CONSTRUCTION MEASURES THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING CONSTRUCTION MEASURES THROUGHOUT THE PROJECT.

CITY OF EDEN PRAIRIE EROSION CONTROL NOTES:

1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

RILEY PURGATORY BLUFF CREEK, SITE SPECIFIC NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF CONSTRUCTION MUST BE RECOMPACTED TO ACHIEVE A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1000 KIP/SQ FT. PER 200 LB PER SQUARE FOOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE TO PROTECT UTILITIES, TREE ROOTS, AND OTHER EXISTING VEGETATION.
2. TOPSOIL SHALL CONTAIN A MINIMUM OF 5% ORGANIC CONTENT CONSISTENT WITH SLOPE REQUIREMENTS.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND MAINTAINED TO RETURN NATURAL RESOURCES AND ECOLOGICAL VALUE.
4. NOT ALL TYPES OF OTHER MATERIAL SHALL BE PLACED IN A BUFFER. THE POTENTIAL TRANSFER OF AQUATIC INVASIVE SPECIES (E.G., ZEBRA MUSSELS, EMERSON WATERMILK, ETC.) MUST BE MINIMIZED TO THE MAXIMUM EXTENT POSSIBLE.

LEGEND:

- 1:25' CONTOUR ELEVATION INTERVAL
- 1/2' CONTOUR ELEVATION INTERVAL
- DRAINAGE ARROW
- SILT FENCE (BODOLL - GRADING LIMIT)
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET
- CONSTRUCTION LIMITS
- PERIMETER EROSION CONTROL ALONG WETLAND BOUNDARY, TYP.
- INSTALL SEDIMENTATION TANKS
- CONSTRUCTION ENTRANCE
- INSTALL PERIMETER EROSION CONTROL ALONG WETLAND BOUNDARY, TYP.
- CONSTRUCTION LIMITS
- OUTLET
- CONSTRUCTION LIMITS

SWPPP - PROPOSED CONDITIONS

