



18681 Lake Drive East  
Chanhassen, MN 55317  
952-607-6512  
www.rpbcwd.org

## Riley Purgatory Bluff Creek Watershed District Permit Application Review

**Permit No:** 2021-062

**Considered at Board of Managers Meeting:** July 13, 2022

**Received complete:** July 1, 2022

**Applicant:** Scott Peterson, United Properties Development LLC

**Representative:** Kimley-Horn and Associates, Inc., Alan Catchpool

**Project:** The Ellie - The project proposes the redevelopment of seven single-family homes into a residential multi-family development and associated onsite parking areas in Eden Prairie, MN. The project proposes a series of subsurface stormwater infiltration/detention chambers to provide volume control, water quality, and rate control.

**Location:** Lincoln Lane, Eden Prairie, MN, 55344

**Reviewer:** Dallen Webster, EIT; and Scott Sobiech, PE; Barr Engineering Co.

### Proposed Board Action

Manager \_\_\_\_\_ moved and Manager \_\_\_\_\_ seconded adoption of the following resolutions based on the permit report that follows and the presentation of the matter at the July 13, 2022 meeting of the managers:

Resolved that the application for Permit 2021-062 is approved, subject to the conditions and stipulations set forth in the Recommendations section of the attached report;

Resolved that on determination by the RPBCWD administrator that the conditions of approval of the permit have been affirmatively resolved, the RPBCWD president or administrator is authorized and directed to sign and deliver Permit 2021-062 to the applicant, on behalf of RPBCWD.

Upon vote, the resolutions were adopted, \_\_\_\_\_ [VOTE TALLY].

### Applicable Rule Conformance Summary

Rule	Issue	Conforms to RBPCWD Rules?	Comments	
C	Erosion Control Plan	See comment	See rule-specific permit condition C1 related to name of individual responsible for on-site erosion control.	
J	Stormwater Management	Rate	Yes	
		Volume	See comments	See stipulation #5 related to verifying the infiltration capacity of the soils and separation from groundwater.
		Water Quality	Yes	
		Low Floor Elev.	Yes	
		Maintenance	See comment	See rule-specific permit condition J1 related to recordation of stormwater facilities maintenance declaration.

Rule	Issue	Conforms to RBPCWD Rules?	Comments
	Chloride Management	See comment	See stipulation #4 related to providing an executed chloride management plan prior to permit close-out.
	Wetland Protection	NA	
<b>L</b>	<b>Permit Fee Deposit</b>	Yes	\$3,000 deposit fee received August 31, 2021. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. As of July 7, 2022 the amount due is \$3,438.
<b>M</b>	<b>Financial Assurance</b>	See Comment	The financial assurance is calculated at \$1,044,890

### **Background**

The proposed redevelopment will include the demolition of seven existing single family residential homes and removal of a cul-de-sac roadway (Lincoln Lane) for the construction of a new residential multi-family development and associated on-site parking in Eden Prairie, Minnesota. The applicant proposes four subsurface stormwater infiltration/detention chamber facilities, 0.79 acres pervious asphalt in the parking stalls and 5,190 square feet (0.12 acres) of green roof to provide water quality treatment, rate control, and volume abstraction.

The project site information is summarized in Table 1.

**Table 1. Project site information**

Site Information	Project Area
Total Site Area (acres)	6.40
Existing Site Impervious Area (acres)	1.24
Post Construction Site Impervious (acres)	4.02
New (increase) in Site Impervious Area (acres)	2.78
Percent increase in Impervious Surface	>100%
Disturbed Site Impervious Area (acres)	1.24
Percent Disturbance of Existing Impervious Surface	100%
Total Disturbed Area (acres)	6.40

Exhibits:

1. Permit application dated July 21, 2021 (Notified applicant on August 4, 2021 that submittal was incomplete, revised materials completing the application received July 1, 2022)
2. Stormwater Management Report dated June 21, 2021, (revised August 20, 2021, May 23, 2022, and July 1, 2022)
3. Project Plan Set (15 sheets) dated June 21, 2021 (revised with 17 sheets August 19, 2021, revised with 26 sheet on May 25, 2022, sheets C503, C504, C703, & C704 revised July 1, 2022)
4. Wetland Investigation Memo dated July 7, 2021

5. Email from property owner at 16301 Lincoln Lane that United Properties was allowed to apply for a permit on the owner's behalf dated August 28<sup>th</sup>
6. Email from property owner at 16302 Lincoln Lane that United Properties was allowed to apply for a permit on the owner's behalf dated August 28<sup>th</sup>
7. Email from property owner at 16301 Lincoln Lane that United Properties was allowed to apply for a permit on the owner's behalf dated August 28<sup>th</sup>
8. Email from property owner at 16305 and 16307 Lincoln Lane that United Properties was allowed to apply for a permit on the owner's behalf dated August 28<sup>th</sup>
9. Email from property owner at 16309 Lincoln Lane that United Properties was allowed to apply for a permit on the owner's behalf dated August 28<sup>th</sup>
10. Email from property owner at 16316 Lincoln Lane that United Properties was allowed to apply for a permit on the owner's behalf dated August 28<sup>th</sup>
11. Email from property owner at 16217 Lincoln Lane that United Properties was allowed to apply for a permit on the owner's behalf dated August 28<sup>th</sup>
12. Draft Geotechnical evaluation Report by Braun Intertec dated July 7, 2021
13. Final Geotechnical evaluation Report by Braun Intertec dated July 21, 2021
14. Response to Comments Letter from Kimley Horn dated August 30, 2021
15. Opinion of Probable Costs for stormwater received August 30, 2021 (revised July 8, 2022)
16. Electronic HydroCAD models received on August 30, 2021 (revised July 8, 2022)
17. Electronic MIDS results received August 30, 2021
18. Review Responses dated May 26, 2022 (the applicant's responses to the August 4, 2021 incomplete notice/review comments)

### **Rule Specific Permit Conditions**

#### **Rule A: Procedural Requirements**

A complete permit application includes all required information, exhibits, and fees and must be authorized by all property owners (Rule A, Subsection 2.3). Because the project includes the removal of the cul-de-sac roadway (Lincoln Lane) within public right of way under control of the City of Eden Prairie, the following revisions are needed to conform to RPBCWD Rule A requirements:

- A1. Please provide written documentation from the City of Eden Prairie demonstrating the necessary property rights to perform the proposed work within public right of way of Lincoln Lane.

#### **Rule C: Erosion Prevention and Sediment Control**

Because the project will involve the alteration of 6.40 acres of land-surface area or vegetation, the project must conform to the erosion prevention and sediment control requirements established in Rule C.

The erosion control plan prepared by Kimley-Horn and Associates, Inc. includes installation of perimeter control (silt fence), erosion control blanket, a stabilized rock construction entrance, inlet protection, daily

inspection, staging areas, placement of a minimum of 6 inches of topsoil (at 5% organic matter), decompaction of areas compacted during construction, and retention of native topsoil onsite to the greatest extent possible. To conform to RPBCWD Rule C requirements, the following revisions are needed:

- C1. The Applicant must provide the name, address and phone number of the individual who will remain liable to the District for performance under this rule and maintenance of erosion and sediment-control measures from the time the permitted activities commence until vegetative cover is established.

**Rule J: Stormwater Management**

Because the project will disturb 6.40 acres of land-surface area, the project must meet the criteria of RPBCWD’s Stormwater Management rule (Rule J, Subsection 2.1). The criteria listed in Subsection 3.1 will apply to the entire project site because the site activity will disturb more than 50 percent of the existing impervious surface on the parcel (Rule J, Subsection 2.3).

The applicant is proposing construction of four subsurface stormwater infiltration/detention chamber facilities, 0.12 acres of green roof area, and 0.79 acres of pervious asphalt in parking stalls to provide the rate control, volume abstraction and water quality management. Pretreatment for runoff entering the subsurface infiltration basins is being provided by catch basins with sumps.

**Rate Control**

In order to meet the rate control criteria listed in Subsection 3.1.a, the 2-, 10-, and 100-year post development peak runoff rates must be equal to or less than the existing discharge rates at all locations where stormwater leaves the site. The applicant used a HydroCAD hydrologic model to simulate runoff rates for pre- and post-development conditions for the 2-, 10-, and 100-year frequency storm events using a nested rainfall distribution, and a 100-year frequency, 10-day snowmelt event. The existing and proposed 2-, 10-, and 100-year frequency discharges from the site are summarized in Table 2 below. The proposed project conforms to RPBCWD Rule J, Subsection 3.1.a.

**Table 2. Existing and Proposed Peak Runoff Rates**

Modeled Discharge Location	2-Year Discharge (cfs)		10-Year Discharge (cfs)		100-Year Discharge (cfs)		10-Day Snowmelt (cfs)	
	Ex	Prop	Ex	Prop	Ex	Prop	Ex	Prop
West	3.4	0.8	5.1	3.1	11.4	11.3	2.0	1.2
East	0.8	<0.1	1.1	<0.1	3.3	0.4	0.8	0.2
Southeast	0.1	0.0	0.1	0.0	0.6	0.0	0.2	0.0

**Volume Abstraction**

Subsection 3.1.b of Rule J requires the abstraction onsite of 1.1 inches of runoff from the regulated impervious surface of the site. The 4.02 acres of proposed impervious area includes 0.79 acres of pervious asphalt area and 0.12 acres of green roof area. An abstraction volume of 16,051 cubic feet is required from the 4.02 acres of regulated site impervious area on the project for volume retention. Pretreatment of runoff entering the infiltration basins is provided with catch basins with sumps to conform to Rule J, Subsection 3.1.b.1.

The soil boring performed by Braun Intertec at the location of the proposed subsurface infiltration/detention system show that soils in the project area are primarily poorly graded sand with silt and poorly graded sand. Groundwater was not observed at the bottom of any of the soil boring locations. The subsurface investigation information summarized in Table 3 shows that groundwater is at least 3 feet below the bottom of the proposed subsurface infiltration/detention facilities (Rule J, Subsection 3.1.b.2.a).

**Table 3. Groundwater Separation Analysis**

Proposed BMP	Nearest Subsurface Investigation	Boring is within footprint?	Groundwater Elevation (feet)	BMP Bottom Elevation (feet)	Separation (feet)
BMP #1 Subsurface infiltration/detention System	ST-1	No	No groundwater observed at boring bottom (approx. el 871.0 ft)	895.0	24.0
BMP #2 Subsurface infiltration/detention System	ST-9	No	No groundwater observed at boring bottom (approx. el 862.3 ft)	893.0	30.7
BMP #3 Subsurface infiltration/detention System	ST-4	No	No groundwater observed at boring bottom (approx. el 864.3 ft)	893.0	28.7
BMP #4 Subsurface infiltration/detention System	ST-2	No	No groundwater observed at boring bottom (approx. el 864.9 ft)	888.0	23.1

The engineer concurs with the applicant’s design infiltration rates of 0.8 inches per hour for sand and silty sand based on the guidelines provided in the Mn Stormwater Manual. Based on the design infiltration rate, the engineer concurs that the basins will draw down within 48 hours (Rule J, subsection 3.1b.3). Because of the existing residential structures at the location of proposed subsurface infiltration/detention areas, subsurface infiltration testing was not performed as part of the design. Per Rule J, Subsection 3.1.b.2.c measured infiltration capacity of the soils at the bottom of the infiltration systems must be provided. The applicant must submit documentation verifying the infiltration capacity of the soils and that the volume control capacity has been recalculated using the measured infiltration rate. If infiltration capacity is less than needed to conform with the volume abstraction requirement in subsection 3.1b or there is inadequate

separation to groundwater, design modifications to achieve compliance with RPBCWD requirements will need to be submitted (in the form of an application for a permit modification or new permit).

The table below summarizes the volume abstraction for the site based on the design infiltration capacity of the subsurface infiltration/detention system. With the stipulation noted above regarding verification of subsurface conditions, the engineer concurs with the submitted information and finds that the proposed project will conform with Rule J, Subsection 3.1.b.

**Table 4. Volume Abstraction Summary**

Required Abstraction Depth (inches)	Required Abstraction Volume (cubic feet)	Provided Abstraction Depth (inches)	Provided Abstraction Volume (cubic feet)
1.1	16,051	1.15	18,906

***Water Quality Management***

Subsection 3.1.c of Rule J requires the Applicant to provide volume abstraction in accordance with 3.1b or least 60 percent annual removal efficiency for total phosphorus (TP), and at least 90 percent annual removal efficiency for total suspended solids (TSS) from site runoff, and no net increase in TSS or TP loading leaving the site from existing conditions. Because the four subsurface infiltration/detention systems, pervious asphalt, and green roof proposed by the applicant provide volume abstraction meeting the standard in 3.1b and the engineer concurs with the modeling, under paragraph 3.1c.i, the engineer finds that the proposed project provides the required stormwater-quality protection.

***Low floor Elevation***

All new buildings must be constructed such that the lowest floor is at least two feet above the 100-year high-water elevation or one foot above the emergency overflow of a stormwater-management facility according to Rule J, Subsection 3.6a. In addition, a stormwater-management facility must be constructed at an elevation that ensures that no adjacent habitable building will be brought into noncompliance with this requirement according to Rule J, Subsection 3.6b.

The applicant is proposing to construct one building as part of the project with a low floor elevation of 892.5 ft. Because the proposed low floor is less than 2 feet above the 100-year flood elevation of the adjacent stormwater management facilities, the applicant applied the alternative low floor criteria in Rule J, Appendix J.1 – Low-Floor Elevation Assessment. Groundwater was not discovered in soil boring at the site so the groundwater elevation was assumed to be at the shallowest boring depth (elevation 871 feet), 21.5 feet below the proposed low floor elevation. According to *Plot 1: Minimum Depth to Water Table for No Further Evaluation*, the minimum permissible depth to water table is 13 based on the stormwater facility horizontal separation (see below table). Because the provided separation is greater than the minimum required, the elevation and location of the proposed stormwater facilities meet the existing low floor requirements in Rule J, Subsection 3.6a.

The existing storage units to the north and coffee shop to the south have low floor elevations more than 2 feet above the adjacent 100-year flood elevation of the adjacent stormwater management facility, thus conforming to Rule J, Subsection 3.6b. Because the low floor elevation of the Applewood Pointe facility to the southeast of BMP#1 has a low floor below the 100-year elevation of BMP#1, the applicant applied the alternative low floor criteria in Rule J, Appendix J.1 – Low-Floor Elevation Assessment (see below table). Because the provided separation is greater than the minimum required, the elevation and location of the proposed stormwater facilities meet the existing habitable structure requirements in Rule J, Subsection 3.6b. The RPBCWD Engineer concurs that the proposed project is in conformance with Rule J, Subsection 3.6.

Structure	Low Floor Elevation of Nearest Building (ft)	Stormwater Facility	100-year Event Flood Elevation of Stormwater Facility (ft)	Freeboard to 100-year Event (ft)	Distance from Building to Adjacent Facility (ft)	Water Table Elevation (ft)	Minimum Permissible Depth to Water Table <sup>3</sup> (ft)	Provided Depth from Low Floor Elevation to Water Table (ft)
The Ellie	892.5	BMP#1	899.77	-7.27	20	871 <sup>4</sup>	13	21.5
Storage Unit (N)	906 <sup>1</sup>	BMP#3	898.13	7.87	Appendix J.1 analysis not required.			
Coffee Shop (S)	904 <sup>1</sup>	BMP#1	899.77	4.23	Appendix J.1 analysis not required.			
Applewood Pointe (SE)	891 <sup>2</sup>	BMP#1	899.77	-8.77	90	871 <sup>4</sup>	3.5	20

<sup>1</sup> Estimated from available LIDAR information.

<sup>2</sup> Obtained from Permit 2018-044

<sup>3</sup> Using Plot 1 in Appendix J1 of RPBCWD Stormwater Management Rule

<sup>4</sup> Groundwater was not observed in the site boring and presumed to be at the shallowest boring depth for the Appendix J1 analysis.

### **Maintenance**

Subsection 3.7 of Rule J requires the submission of maintenance plan. All stormwater management structures and facilities must be designed for maintenance access and properly maintained in perpetuity to assure that they continue to function as designed.

- J1. Permit applicant must provide a maintenance and inspection declaration. A maintenance declaration template is available on the permits page of the RPBCWD website. (<http://www.rpbcwd.org/permits/>). A draft declaration must be provided for District review and approval prior to recordation and documentation of recordation must be provided to RPBCWD as a condition of issuance of the permit.

### **Chloride Management**

Subsection 3.8 of Rule J requires the submission of chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan. To close out the permit and release the \$5,000 in financial assurance held for the purpose of chloride management, the permit applicant must provide a chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan at the site.

### **Wetland Protection**

Because runoff from this site is directly tributary to a downstream stormwater pond and is not tributary to any wetland, the proposed project does not trigger analysis under Rule J, subsection 3.10.

### **Rule L: Permit Fee**

The RPBCWD permit fee schedule requires permit applicants to submit a permit-fee deposit of \$3,000 to be held in escrow and applied to reimburse RPBCWD for the permit-application processing fee and permit review and inspection-related costs. When a permit application is approved, the deposit must be replenished to the applicable deposit amount by the applicant before the permit will be issued to cover actual costs incurred to monitor compliance with permit conditions and the RPBCWD Rules. A permit fee deposit of \$3,000 was received on August 31, 2021. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. Subsequently, if the costs of review, administration, inspections and closeout-related or other regulatory activities exceed the fee deposit amount, the applicant will be required to replenish the deposit to the original amount or such lesser amount as the RPBCWD administrator deems sufficient within 30 days of receiving notice that such deposit is due. The administrator will close out the relevant application or permit and revoke prior approvals, if any, if the permit-fee deposit is not timely replenished.

- L1. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. The amount needed to replenish the permit fee deposit is \$3,438 as of July 7, 2022.

### **Rule M: Financial Assurance**

	<b>Unit</b>	<b>Unit Cost</b>	<b># of Units</b>	<b>Total</b>
Rules C: Silt fence:	LF	\$2.50	600	\$1,500
Inlet protection	EA	\$100	34	\$3,400
Rock Entrance	EA	\$250	1	\$250
Restoration	Ac	\$2,500	6.4	\$16,000
Rules J: Chloride Management	LS	\$5,000	1	\$5,000
Rules J: Stormwater Management: 125% of engineer's opinion of cost (\$739,000 - four underground infiltration/detention systems, control structures, green roof, pervious asphalt, pretreatment structures)	EA	125% OPC	1	\$923,750
Contingency (10%)		10%		\$94,990
<b>Total Financial Assurance</b>				<b>\$1,044,890X</b>

### **Applicable General Requirements:**

1. The RPBCWD Administrator and Engineer shall be notified at least three days prior to commencement of work.
2. Construction shall be consistent with the plans and specifications approved by the District as a part of the permitting process. The date of the approved plans and specifications is listed on the permit.



3. Construction must be consistent with the plans, specifications, and models that were submitted by the applicant that were the basis of permit approval. The date(s) of the approved plans, specifications, and modeling are listed on the permit. The grant of the permit does not in any way relieve the permittee, its engineer, or other professional consultants of responsibility for the permitted work.
4. The grant of the permit will not relieve the permittee of any responsibility to obtain approval of any other regulatory body with authority.
5. The issuance of this permit will not convey any rights to either real or personal property, or any exclusive privileges, nor will it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
6. In all cases where the doing by the permittee of anything authorized by this permit involves the taking, using or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee, before proceeding therewith, must acquire all necessary property rights and interest.
7. RPBCWD's determination to approve the permit application was made in reliance on the information provided by the applicant. Any substantive change in the work affecting the nature and extent of applicability of RPBCWD regulatory requirements or substantive changes in the methods or means of compliance with RPBCWD regulatory requirements must be the subject of an application for a permit modification to the RPBCWD.
8. If the conditions herein are met and the permit is issued by RPBCWD, the applicant, by accepting the permit, grants access to the site of the work at all reasonable times during and after construction to authorized representatives of the RPBCWD for inspection of the work.

### **Findings**

1. The proposed project includes the information necessary, plan sheets and erosion control plan for review.
2. The proposed project will conform to Rules C and J if the Rule Specific Permit Conditions listed above are met.

### **Recommendation:**

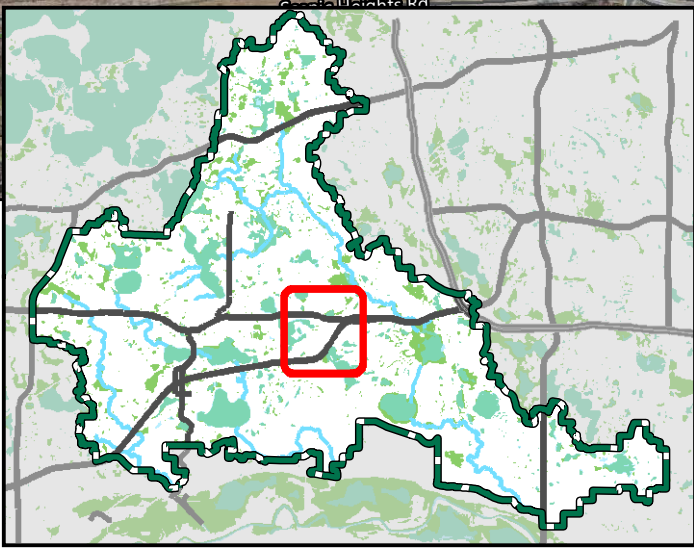
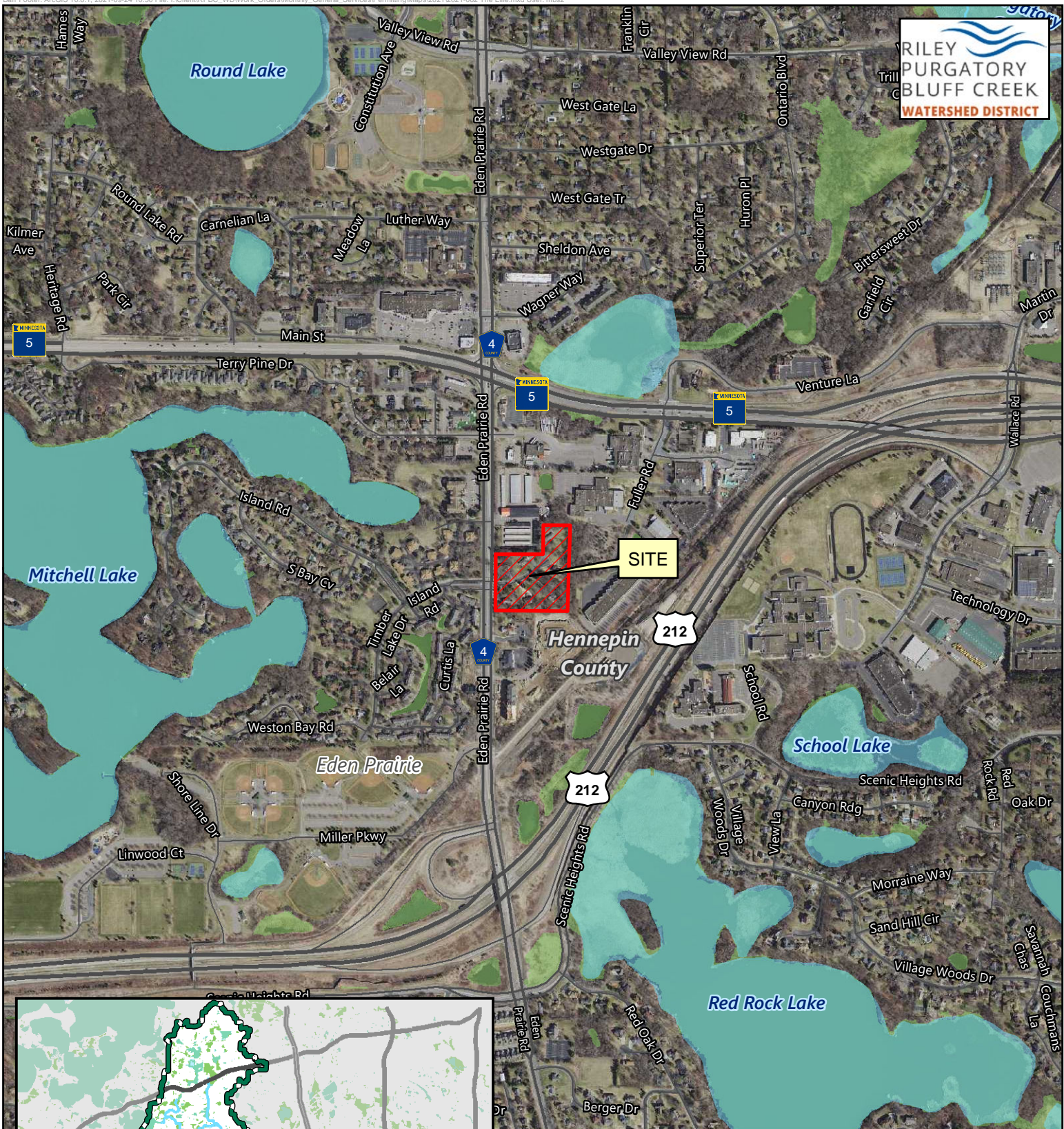
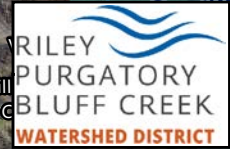
Approval of the permit contingent upon:

1. Financial Assurance in the amount of \$1,044,890.
2. Permit applicant must provide the name and contact information of the general contractor responsible for the site. RPBCWD must be notified if the responsible party changes during the permit term.
3. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. The amount needed to replenish the permit fee deposit is \$3,438 as of July 7, 2022.

4. Receipt by RPBCWD of documentation of recordation of a maintenance declaration for the stormwater management facilities. A draft must be reviewed and approved by the District prior to recordation. Proof of recordation must be provided to RPBCWD as part of project close-out.
5. Permit applicant providing written documentation demonstrating the necessary property rights to perform the proposed work within public right of way of Lincoln Lane.

By accepting the permit, when issued, the applicant agrees to the following stipulations:

1. Continued compliance with General Requirements.
2. Per Rule J Subsection 4.5, upon completion of the site work, the permittee must submit as-built drawings demonstrating that at the time of final stabilization the stormwater management facilities conforms to design specifications and functions as intended and approved by the District. As-built/record drawings must be signed by a professional engineer licensed in Minnesota and include, but not limited to:
  - a) the surveyed bottom elevations, water levels, and general topography of all facilities;
  - b) the size, type, and surveyed invert elevations of all stormwater facility inlets and outlets;
  - c) the surveyed elevations of all emergency overflows including stormwater facility, street, and other;
  - d) other important features to show that the project was constructed as approved by the Managers and protects the public health, welfare, and safety.
3. Documentation that constructed infiltration facilities perform as designed. This may include infiltration testing, flood testing, or other with prior approval from RPBCWD.
4. To close out the permit and release the \$5,000 in financial assurance held for the purpose of the chloride management, the permit applicant must provide an executed chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan at the site.
5. Per Rule J, Subsection 3.1.b.ii measured infiltration capacity of the soils at the bottom of the infiltration system must be provided. The applicant must submit documentation verifying the infiltration capacity of the soils and that the volume control capacity is calculated using the measured infiltration rate. In addition, subsurface soil investigation is needed to verify adequate separation to groundwater (Rule J subsection 3.1.b.2). If infiltration capacity is less than needed to conform with the volume abstraction requirement in subsection 3.1b or there is inadequate separation to groundwater, design modifications to achieve compliance with RPBCWD requirements will need to be submitted (in the form of an application for a permit modification or new permit).



Permit Location Map



Feet



THE ELLIE  
**Permit 2021-062**  
Riley Purgatory Bluff Creek  
Watershed District

# SITE DEVELOPMENT PLANS FOR THE ELLIE

EDEN PRAIRIE, HENNEPIN, MN

**PROJECT TEAM:**

ENGINEER  
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: ALAN L. CATCHPOOL, P.E.  
767 EUSTIS STREET, SUITE 100  
ST. PAUL, MN 55114  
TELEPHONE (651) 645-4197

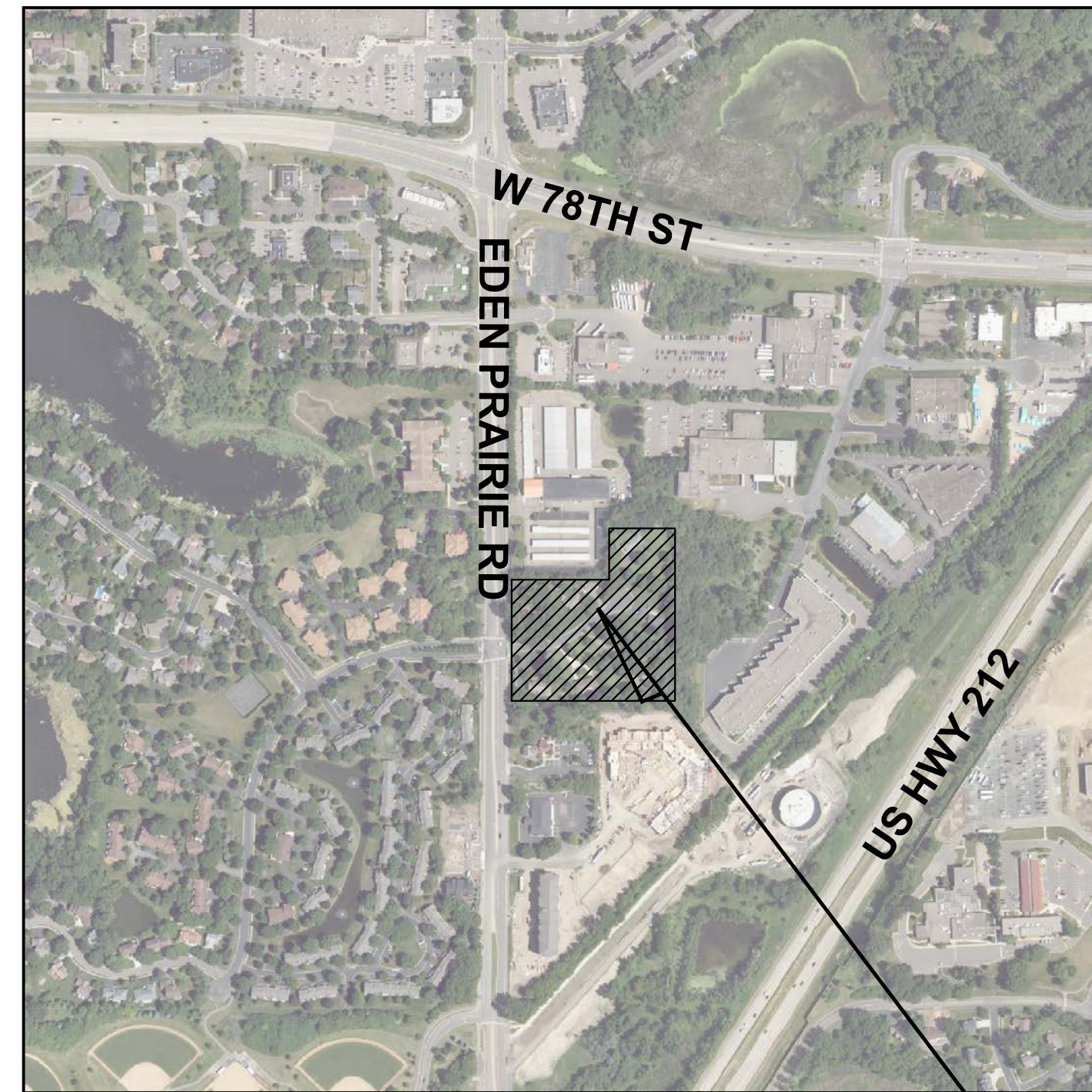
ARCHITECT/LANDSCAPE ARCHITECT  
DLR GROUP  
520 NICOLLET MALL SUITE 200  
MINNEAPOLIS, MN 55402  
TELEPHONE: (612) 977-3500

OWNER / DEVELOPER  
UNITED PROPERTIES

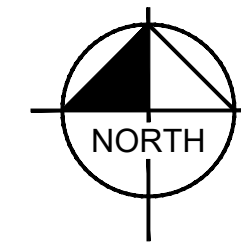


UNITED PROPERTIES  
651 NICOLLET MALL SUITE 450  
MINNEAPOLIS, MN 55402  
TELEPHONE: (612) 343-7047

SURVEYOR  
EGAN, FIELD & NOWAK, INC.  
1229 TYLER STREET NE SUITE 100  
MINNEAPOLIS, MN 55413  
TELEPHONE: (612) 446-3300



VICINITY  
N.T.S.



SITE

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
V100	SURVEY
V101	SURVEY
V102	FINAL PLAT
V103	FINAL PLAT
C100	GENERAL NOTES
C200	DEMO PLAN
C201	BORING LOG PLAN
C300	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
C301	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
C302	EROSION AND SEDIMENT CONTROL DETAILS
C400	SITE PLAN
C500	GRADING PLAN
C501	GRADING PLAN
C502	GRADING ENLARGEMENT
C503	STORM SEWER PLAN
C600	UTILITY PLAN
C601	SANITARY SEWER PROFILE
C602	SANITARY SEWER PROFILE
C603	WATERMAIN PROFILE
C604	UTILITY SECTIONS
C700	CONSTRUCTION DETAILS
C701	CONSTRUCTION DETAILS
C702	CONSTRUCTION DETAILS
C703	CONSTRUCTION DETAILS
C704	CONSTRUCTION DETAILS

**BENCHMARKS**

SITE BENCHMARKS:  
(LOCATIONS SHOWN ON SURVEY)

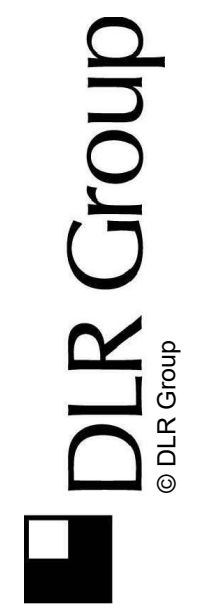
SBM #1 TOP OF MINNESOTA DEPARTMENT OF TRANSPORTATION  
GEODETIC MONUMENT "HIGHLIFE" GSID #79701  
ELEVATION = 882.15 FEET (NAVD88)

SBM #2 TOP NUT OF HYDRANT LOCATED ON SOUTHERLY OF  
LINCOLN LANE IN FRONT OF 16301 LINCOLN LANE.  
ELEVATION = 898.43 FEET (NAVD88)

**NOTES:**

- CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
- IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24x36 SHEET.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

K:\TWC\_LDEV\United\_Properties\Lincoln Lane Residence - Eden Prairie - MN\3 Design\CAD\PlanSheets\CO-COVER SHEET.dwg May 26, 2022 - 6:28pm  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
*Alan Catchpool*  
ALAN L. CATCHPOOL  
DATE: 05/25/2022 LIC. NO. 47989



2022 KIMLEY-HORN AND ASSOCIATES, INC.  
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WWW.KIMLEY-HORN.COM

THE ELLIE  
MULTI-FAMILY RESIDENTIAL BUILDING  
EDEN PRAIRIE, MN

ISSUE FOR PERMIT  
MAY 25, 2022

Revisions  
07.21.2021 CITY SUBMITTAL  
08.19.2021 CITY RE-SUBMITTAL  
10.07.2021 CITY RE-SUBMITTAL  
10.26.2021 CITY RE-SUBMITTAL  
11.16.2021 CITY RE-SUBMITTAL  
12.01.2021 CITY RE-SUBMITTAL  
04.25.2022 50% CD DRAWINGS  
05.10.2022 CITY RE-SUBMITTAL  
05.25.2022 ISSUE FOR PERMIT

40-21110-00

COVER SHEET

C000



Know what's below.  
Call before you dig.

# ALTA/NSPS LAND TITLE SURVEY FOR: Kimley Horn & Associates

## LEGAL DESCRIPTION:

- Per Commitment No. 58556, dated April 19, 2021:  
 Lot 4, Block 2, Lincolnwood Addition.  
 Hennepin County, Minnesota  
 Abstract Property
- Per Commitment No. 58557, dated April 19, 2021:  
 Lot 3, Block 2, Lincolnwood Addition.  
 Hennepin County, Minnesota  
 Abstract Property
- Per Commitment No. 58558, dated April 19, 2021:  
 Lot 1, Block 1, Lincolnwood Addition.  
 Hennepin County, Minnesota  
 Abstract Property
- Per Commitment No. 58559, dated April 19, 2021:  
 Parcel 1:  
 That part of the South Quarter of the Northeast Quarter of the Northeast Quarter of Section 17, Township 116, Range 22, described as follows:  
 Beginning at a point on the North line of the said South Quarter (S ¼) of the Northeast Quarter of the Northeast Quarter distant 414.9 feet East of the Northwest corner thereof; thence South 210.0 feet to said North line; thence West 200.6 feet to the point of beginning.  
 Hennepin County, Minnesota  
 Abstract Property
- Parcel 2:  
 The East 200.6 feet of the following described tract: That part of the South one-fourth of the Northeast Quarter of the Northeast Quarter of Section 17, Township 116, Range 22 described as beginning at a point on the West line of said South one-fourth of the Northeast Quarter of the Northeast Quarter 210 feet South from the Northwest corner thereof; thence South along the West line thereof more or less to a point 108.62 feet North from the Northwest corner thereof; thence East parallel to the to the South line thereof a distance of 615.5 feet; thence North parallel to the West line thereof 118.8 feet, more or less to a point 210 feet South from the North line thereof as measured parallel to said West line; thence West parallel to the North line thereof to the point of beginning.  
 Hennepin County, Minnesota  
 Abstract Property

**GENERAL SURVEY NOTES:**

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-2011 Adj).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by Commercial Partners Title, a division of Chicago Title Insurance Company, Commitment No. 58556, Commitment No. 58557, Commitment No. 58558, Commitment No. 58559, Commitment No. 58560, Commitment No. 58561, & Commitment No. 58562 dated April 19, 2021.
- The angular rotation measured clockwise from record bearings depicted on the plat of LINCOLNWOOD ADDITION to this survey is 00 degrees 00 minutes 37 seconds.
- The surveyed property has direct access to Lincoln Lane, a public right of way.

## OPTIONAL TABLE A ITEMS:

- Monuments have been placed at all major corners of the surveyed property described hereon, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner.
- The addresses of the property described hereon are:  
16217, 16301, 16302, 16305, 16308, 16309, & 16316 Lincoln Lane, Eden Prairie, Minnesota 55344.
- The property described hereon lies within Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per Federal Insurance Rate Map No. 27053 C 0430 F, dated November 4, 2016.
- The total area of the property described hereon is 253,463 square feet or 5.81871 acres. The area of the property hereon described less areas used for right-of-way purposes is 252,171 square feet or 5.78605 acres.
- The contours depicted on Sheet 2 are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.  
 BENCHMARK: Top of Minnesota Department of Transportation Geodetic Monument "HIGHLINE" GSD #79701  
 Elevation = 882.15 feet. (NAVD88)  
 SITE BENCHMARK: Top nut of hydrant located on southerly of Lincoln Lane in front of 16301 Lincoln Lane.  
 Elevation = 898.43 feet. (NAVD88)
- No zoning record or letter was received from the Insurer pursuant to Optional Table A Item 6(a), as set forth in the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys.
- Exterior building dimensions are depicted hereon.
- The exterior building footprint areas at ground level are depicted hereon.
- The measured building heights are depicted hereon.
- Substantial features observed in the process of conducting the fieldwork are depicted hereon.
- As of the date of this survey the property described hereon contains no striped parking spaces. All parking is located within residential driveways and garages.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us by resident testimony, or by locations provided by Cooper State One Call, per Ticket No. 211322856, No. 211322898 & No. 220320278. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The names of adjoining owners according to current tax records are depicted hereon.
- The intersection of Eden Prairie Road & Lincoln Lane is located on the westerly portion the surveyed property.
- The reflected orthophotography depicted hereon is per Minnesota Geospatial Information Image Service, WMS Han18. The Metadata for the WMS Layer can be found at [http://www.mngeo.state.mn.us/chouse/wms/wms\\_image\\_server\\_layers.html](http://www.mngeo.state.mn.us/chouse/wms/wms_image_server_layers.html)
- As of the date of this survey there is no observable evidence of current earth moving work, building construction or building additions on the property described hereon.
- The plottable offsite easements or servitudes disclosed in documents provided to the surveyor are depicted hereon.

## CERTIFICATION:

To Elie Multifamily Property LLC, a Minnesota limited liability company, United Properties Development LLC, a Minnesota limited liability company, Commercial Partners Title, and Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes (Items 1, 2, 3, 4, 5, 6(c), 7(a), 7(b)(1), 7(c), 8, 9, 11(c), 13, 14, 15, 16 and 18 of Table A thereof. The fieldwork was completed on May 26, 2021.

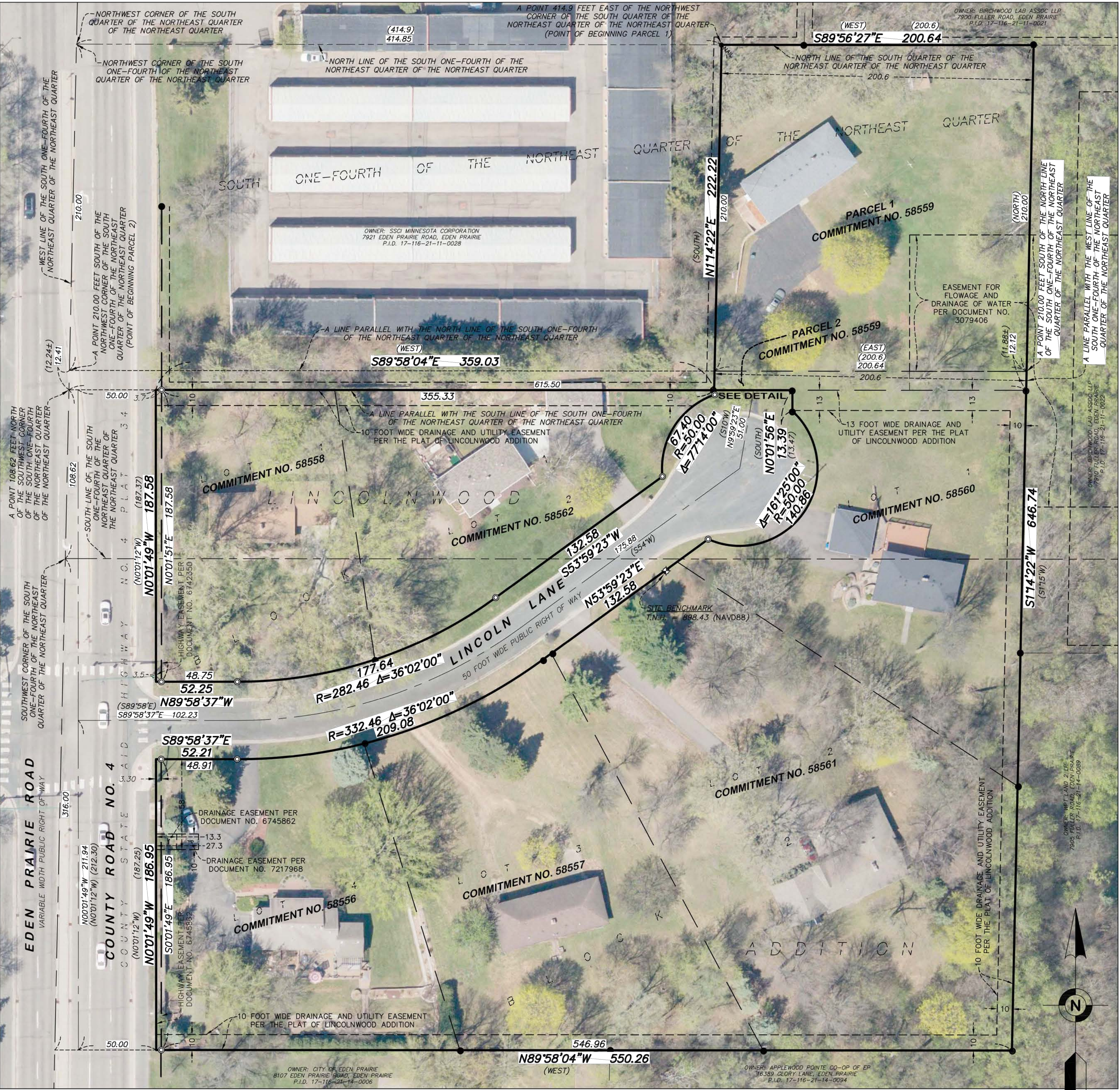
Date of Plat or Map: June 16, 2021.

Eric A. Rosser  
 Minnesota License No. 47476  
 erosser@efnsurvey.com



## SURVEY ITEMS PER SCHEDULE B:

- Per Commitment No. 58556, dated April 19, 2021:
- ITEM 10: Drainage and utility easements as shown on the recorded plat of Lincolnwood Addition.  
 Soid drainage and utility easements affect the surveyed property, and are depicted hereon.
- ITEM 11: Subject to Hennepin County State Aid Highway No. 4, Plat 34, filed July 13, 1977, as Document No. 4298874.  
 Soid right of way of C.S.A.H. No. 4 is adjacent to the surveyed property and is depicted hereon.
- ITEM 12: Easement for highway and drainage purposes in favor of the County of Hennepin, a body politic and corporate of the State of Minnesota contained in Quit Claim Deed dated May 20, 1997, filed June 17, 1997, as Document No. 6745862.  
 Soid highway and drainage easements affect the surveyed property, and are depicted hereon.
- ITEM 13: Easement for drainage purposes in favor of the County of Hennepin, a body politic and corporate of the State of Minnesota contained in Quit Claim Deed dated April 29, 1999, filed November 19, 1999, as Document No. 7217968.  
 Soid drainage easement affects the surveyed property, and is depicted hereon.
- ITEM 14: Terms and conditions of flowage and drainage of water easement contained in Easement Agreement dated August 7, 1957, filed August 19, 1957, in Book 2139 of Deeds, page 509, as Document No. 3079406 (Abstract) and as set forth in Order in Proceeding Subsequent to Initial Registration of Land dated March 17, 1969, filed March 24, 1969, as Document No. 937863 (Torrans).  
 NOTE: Above instruments indicate soid flowage and drainage benefits the plat of Lincolnwood Addition. Portions of soid easement now burden portions of the drainage and utility easements within the recorded plats of Eden Prairie Industrial Park and Birchwood Labs, which were originally Abstract property at the time of the easement, but are now Torrans.  
 (See Item 9, per Commitment No. 58559)
- Per Commitment No. 58557, dated April 19, 2021:
- ITEM 11: Terms and conditions of flowage and drainage of water easement contained in Easement Agreement dated August 7, 1957, filed August 19, 1957, in Book 2139 of Deeds, page 509, as Document No. 3079406 (Abstract) and as set forth in Order in Proceeding Subsequent to Initial Registration of Land dated March 17, 1969, filed March 24, 1969, as Document No. 937863 (Torrans).  
 NOTE: Above instruments indicate soid flowage and drainage benefits the plat of Lincolnwood Addition. Portions of soid easement now burden portions of the drainage and utility easements within the recorded plats of Eden Prairie Industrial Park and Birchwood Labs, which were originally Abstract property at the time of the easement, but are now Torrans.  
 (See Item 9, per Commitment No. 58559)
- ITEM 12: Drainage and utility easements as shown on the recorded plat of Lincolnwood Addition.  
 Soid drainage and utility easements affect the surveyed property, and are depicted hereon.
- Per Commitment No. 58558, dated April 19, 2021:
- ITEM 9: Drainage and utility easements as shown on the recorded plat of Lincolnwood Addition.  
 Soid drainage and utility easements affect the surveyed property, and are depicted hereon.
- ITEM 10: Easement for highway purposes in favor of the County of Hennepin, a body politic and corporate of the State of Minnesota contained in Quit Claim Deed dated May 23, 1997, filed June 6, 1997, as Document No. 6742350.  
 Soid highway easement affects the surveyed property and is depicted hereon.
- ITEM 11: Subject to Hennepin County State Aid Highway No. 4, Plat 34 filed July 13, 1977, as Document No. 4298874.  
 Soid right of way of C.S.A.H. No. 4 is adjacent to the surveyed property and is depicted hereon.
- ITEM 12: Terms and conditions of flowage and drainage of water easement contained in Easement Agreement dated August 7, 1957, filed August 19, 1957, in Book 2139 of Deeds, page 509, as Document No. 3079406 (Abstract) and as set forth in Order in Proceeding Subsequent to Initial Registration of Land dated March 17, 1969, filed March 24, 1969, as Document No. 937863 (Torrans).  
 NOTE: Above instruments indicate soid flowage and drainage benefits the plat of Lincolnwood Addition. Portions of soid easement now burden portions of the drainage and utility easements within the recorded plats of Eden Prairie Industrial Park and Birchwood Labs, which were originally Abstract property at the time of the easement, but are now Torrans.  
 (See Item 9, per Commitment No. 58559)
- Per Commitment No. 58559, dated April 19, 2021:
- ITEM 9: Terms and conditions of easements contained in Easement Agreement dated August 7, 1957, filed August 19, 1957, as Document No. 3079406 in Book 2139 of Deeds, Page 509. (Shown by recital on the Certificate of Title) (Parcels 1 and 2)  
 Soid easement affects the surveyed property and is depicted hereon.  
 NOTE: Parcel 2 per Commitment No. 58559 is not included in the legal description for Tract "B" described in soid easement.  
 (See Vicinity Map on Sheet 2 for extent of easement)
- Per Commitment No. 58560 & Commitment No. 58561, dated April 19, 2021:
- ITEM 9: Drainage and utility easements as shown on the recorded plat of Lincolnwood Addition.  
 Soid drainage and utility easements affect the surveyed property, and are depicted hereon.
- ITEM 10: Terms and conditions of flowage and drainage of water easement contained in Easement Agreement dated August 7, 1957, filed August 19, 1957, in Book 2139 of Deeds, page 509, as Document No. 3079406 (Abstract) and as set forth in Order in Proceeding Subsequent to Initial Registration of Land dated March 17, 1969, filed March 24, 1969, as Document No. 937863 (Torrans).  
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 (See Item 9, per Commitment No. 58559)
- Per Commitment No. 58562, dated April 19, 2021:
- ITEM 14: Drainage and utility easements as shown on the recorded plat of Lincolnwood Addition.  
 Soid drainage and utility easements affect the surveyed property, and are depicted hereon.
- ITEM 15: Terms and conditions of flowage and drainage of water easement contained in Easement Agreement dated August 7, 1957, filed August 19, 1957, in Book 2139 of Deeds, page 509, as Document No. 3079406 (Abstract) and as set forth in Order in Proceeding Subsequent to Initial Registration of Land dated March 17, 1969, filed March 24, 1969, as Document No. 937863 (Torrans).  
 NOTE: Above instruments indicate soid flowage and drainage benefits the plat of Lincolnwood Addition. Portions of soid easement now burden portions of the drainage and utility easements within the recorded plats of Eden Prairie Industrial Park and Birchwood Labs, which were originally Abstract property at the time of the easement, but are now Torrans.  
 (See Item 9, per Commitment No. 58559)



## SEE SHEET 2 FOR EXISTING SITE CONDITIONS

- FOUND IRON MONUMENT
- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476
- (XXX.XX) RECORD DISTANCE
- (NXX°XX'XX"E) RECORD BEARING
- ◆ BENCHMARK

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS
			NO. DATE DESCRIPTION
		DRAWN BY: PMD	1 2022/02/10 Additional Utility Information
		CHECKED BY: EAR	2 2022/03/30 Add certification party
DRAWING NAME:		39771.dwg	
JOB NO.:		39771	
FILE NO.:			

# ALTA/NSPS LAND TITLE SURVEY

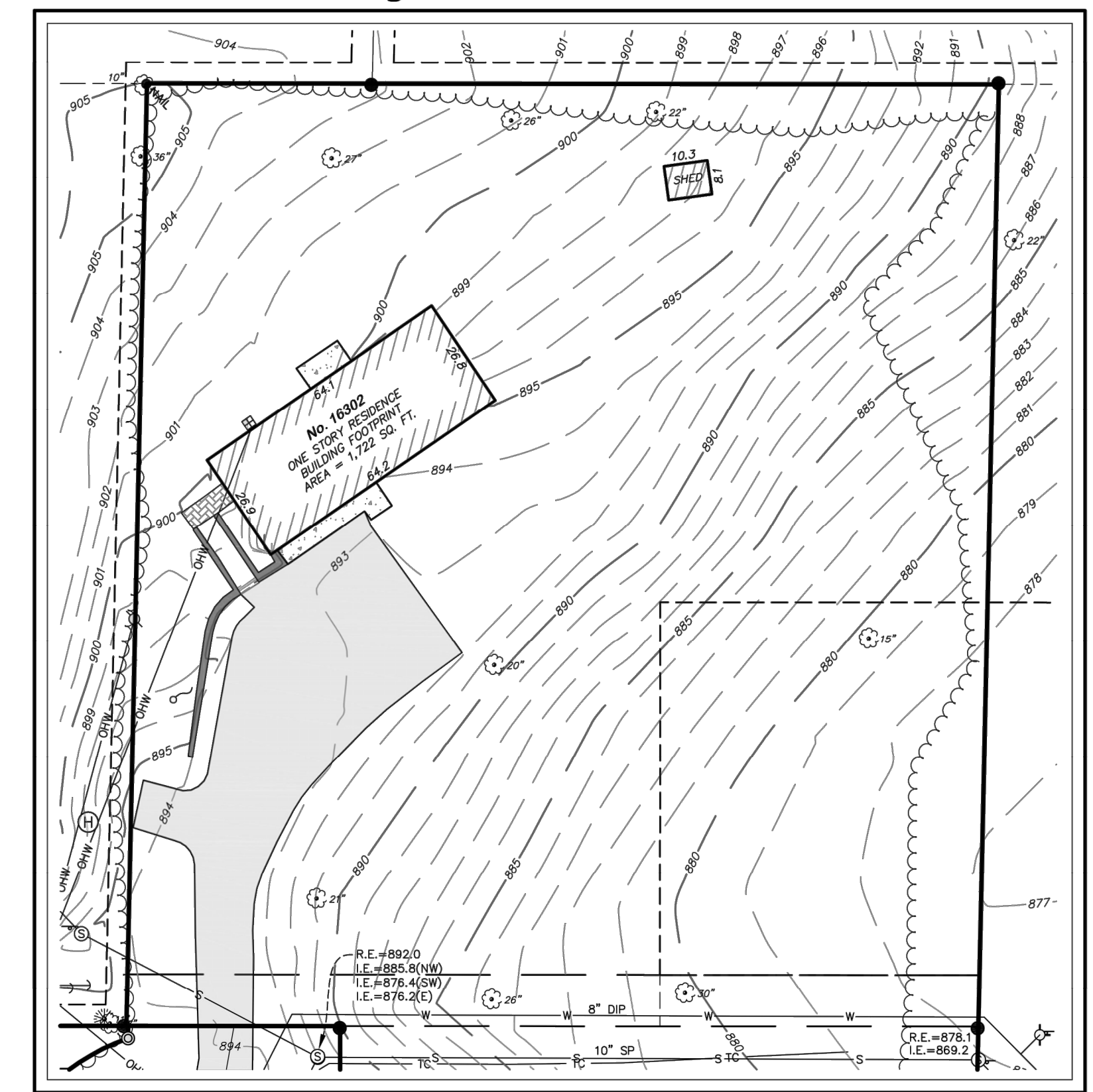
SURVEY FOR:  
**Kimley Horn & Associates**

PROPERTY ADDRESS:  
 16217, 16301, 16302, 16305, 16308,  
 16309, 16316 Lincoln Lane  
 Eden Prairie, Minnesota 55344



475 Old Highway 8 NW, Suite 200  
 New Brighton, Minnesota 55112  
 PHONE: (612) 466-3300  
 FAX: (612) 466-3383  
 WWW.EFNSURVEY.COM  
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**ALTA/NSPS LAND TITLE SURVEY FOR:  
Kimley Horn & Associates**

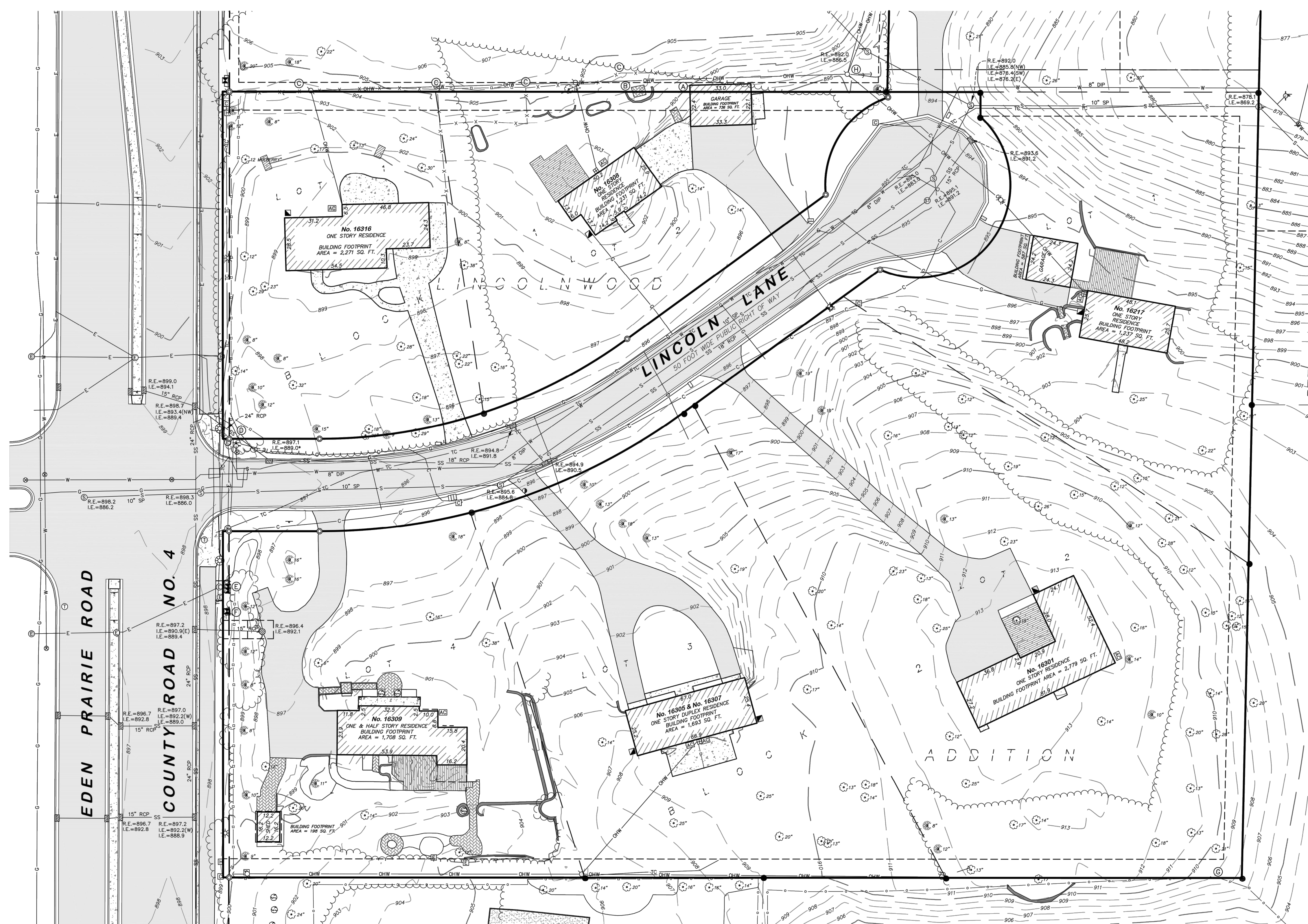


**LIST OF POSSIBLE ENCROACHMENTS:**

Possible Encroachment Note:

An encroachment is defined as an illegal intrusion and is a matter of law, therefore, the surveyor is unable to identify certain features as encroachments. The following possible encroachment notes are intended to draw the user's attention only to major areas of concern. The surveyor does not guarantee that the items noted below are, in fact, encroachments or that all possible encroachments in the vicinity of boundary lines are depicted herein.

- A. Garage extends northerly over northerly property line of surveyed property.
- B. Paver surface and retaining wall extend over northerly property line of surveyed property.
- C. Fence lines extend over northerly property line of surveyed property.
- D. Storm sewer and telecommunications line crosses the surveyed property without the benefit of an easement.
- E. Concrete pad extends easterly over easterly right of way line of Eden Prairie Road onto the surveyed property.
- F. Electrical box extends easterly over easterly right of way line of Eden Prairie Road onto the surveyed property.
- G. Chainlink fence extends northerly over southerly property line of surveyed property.
- H. Power pole and overhead wires servicing the surveyed property appear to cross neighboring property to the north without the benefit of an easement.



**GOPHER STATE ONE CALL NOTE:**

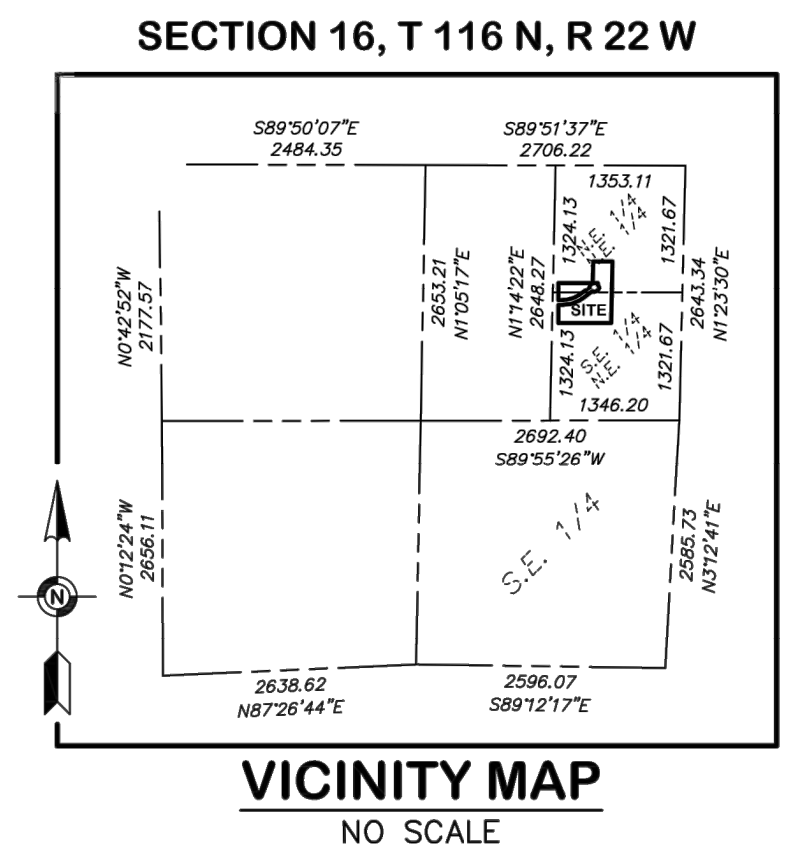
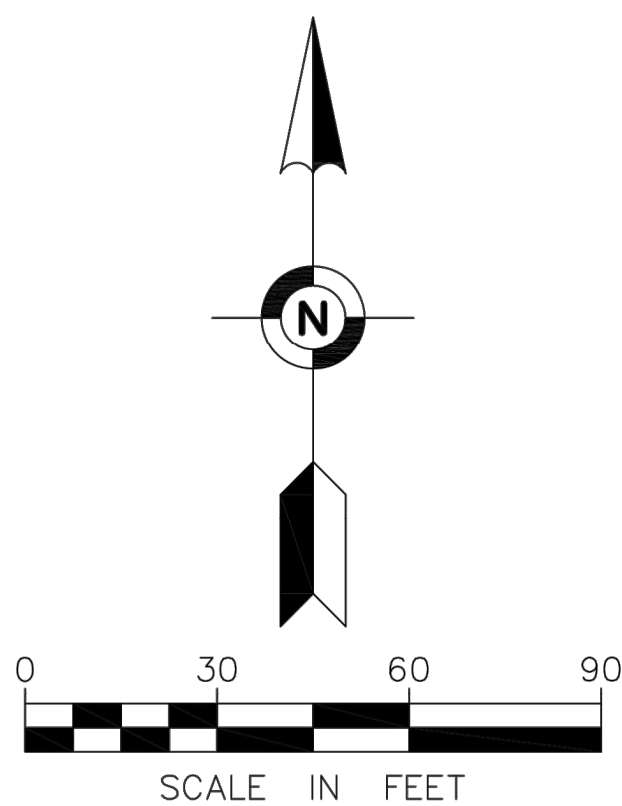
List of utilities notified per Gopher State One Call Ticket No. 211322856, No. 211322898 & No. 220320278.

ARVIG  
CITY OF EDEN PRAIRIE WATER  
CITY OF EDEN PRAIRIE STREET  
CITY OF EDEN PRAIRIE PARKS  
COMCAST  
CENTURYLINK - CTLOL  
EDEN PRAIRIE SCHOOLS ISD 272

MCI  
CENTER POINT ENERGY  
MINDOT  
LEVEL 3 IS NOW CENTURYLINK  
XCEL ENERGY  
ZAYO BANDWIDTH

**LEGEND:**

- SANITARY MANHOLE
- ⊗ STORM MANHOLE
- ⊕ CATCH BASIN
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ STOP BOX
- ⊙ GAS METER
- ⊙ TELEPHONE MANHOLE
- ⊙ COMMUNICATION BOX
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC METER
- ⊙ LIGHT
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ POWER POLE WITH LIGHT
- ⊙ SEMAPHORE
- ⊙ ELECTRIC OUTLET POST
- ⊙ AIR CONDITIONER
- ⊙ HANDHOLE
- ⊙ MAILBOX
- ⊙ FLAGPOLE
- ⊙ SIGN
- ⊙ EXISTING CONTOUR LINE
- ⊙ TREE
- CHAIN LINK FENCE
- x—x—x— WIRE FENCE
- x—x—x—x— WOOD FENCE
- TREELINE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- PAVER SURFACE
- S SANITARY SEWER
- SS STORM SEWER
- W WATERMAIN
- E UNDERGROUND ELECTRIC
- OHW OVERHEAD WIRE
- G UNDERGROUND GAS
- TC UNDERGROUND TELECOMMUNICATION
- C UNDERGROUND CABLE
- ⓐ POSSIBLE ENCROACHMENT ITEM



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
			NO.	DATE DESCRIPTION
			1	2022/02/10 Additional Utility Information
			2	2022/03/30 Add certification party
DRAWING NAME:		CHECKED BY:		
39771.dwg				
JOB NO. 39771				
FILE NO.		EAR		

**ALTA/NSPS  
LAND TITLE SURVEY**

**SURVEY FOR:**  
**Kimley Horn & Associates**

**PROPERTY ADDRESS:**  
**16217, 16301, 16302, 16305, 16308,  
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# ELLIE ADDITION

R.T. DOC. NO. \_\_\_\_\_

C.R. DOC. NO. \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS: That Ellie Multifamily Property LLC, a Delaware limited liability company, fee owner of the following described property situate in the County of Hennepin, State of Minnesota to wit:

Lots 1 and 2, Block 1, "LINCOLNWOOD ADDITION" (Abstract)

AND

Lots 1, 2, 3 and 4, Block 2, "LINCOLNWOOD ADDITION" (Abstract)

AND

Lincoln Lane as dedicated in the plat of "LINCOLNWOOD ADDITION" (Abstract)

AND

That part of the South Quarter of the Northeast Quarter of the Northeast Quarter of Section 17, Township 116, Range 22, described as follows:

Beginning at a point on the North line of the said South Quarter (S ¼) of the Northeast Quarter of the Northeast Quarter distant 414.9 feet East of the Northwest corner thereof; thence South 210.0 feet; thence East 200.6 feet; thence North 210.0 feet to said North line; thence West 200.6 feet to the point of beginning. (Abstract)

AND

The East 200.6 feet of the following described tract: That part of the South one-fourth of the Northeast Quarter of the Northeast Quarter of Section 17, Township 116, Range 22 described as beginning at a point on the West line of said South one-fourth of the Northeast Quarter of the Northeast Quarter 210 feet South from the Northwest corner thereof; thence South along the West line thereof 12.24 feet, more or less to a point 108.62 feet North from the Southwest corner thereof; thence East parallel to the to the South line thereof a distance of 615.5 feet; thence North parallel to the West line thereof 11.88 feet, more or less to a point 210 feet South from the North line thereof as measured parallel to said West line; thence West parallel to the North line thereof to the point of beginning. (Torrens)

Has caused the same to be surveyed and platted as ELLIE ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said Ellie Multifamily Property LLC, a Delaware limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_.

Signed: Ellie Multifamily Property LLC, a Delaware limited liability company

By: Ellie Multifamily Holdings LLC, a Delaware limited liability company, its Manager

By: United Properties Development LLC, a Minnesota limited liability company, its Manager

Signature

Signature

Printed Name

Title

Printed

Title

STATE OF MINNESOTA

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, by \_\_\_\_\_, the \_\_\_\_\_, of United Properties Development LLC a Minnesota limited liability company, the authorized signatory of Ellie Multifamily Holdings LLC, Manager of Ellie Multifamily Property LLC, a Delaware limited liability company, on behalf of the companies.

(Signature)

(Printed Name)

Notary Public \_\_\_\_\_ County, \_\_\_\_\_

My commission expires \_\_\_\_\_

STATE OF MINNESOTA

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, by \_\_\_\_\_, the \_\_\_\_\_, of United Properties Development LLC a Minnesota limited liability company, the authorized signatory of Ellie Multifamily Holdings LLC, Manager of Ellie Multifamily Property LLC, a Delaware limited liability company, on behalf of the companies.

(Signature)

(Printed Name)

Notary Public \_\_\_\_\_ County, \_\_\_\_\_

My commission expires \_\_\_\_\_

I Eric A. Roeser do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_.

Eric A. Roeser, Licensed Land Surveyor  
Minnesota License No. 47476

STATE OF MINNESOTA

COUNTY OF HENNEPIN

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, by Eric A Roeser.

(SIGNATURE)

(PRINT)

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_

CITY COUNCIL, CITY OF EDEN PRAIRIE, MINNESOTA

This plat of ELLIE ADDITION was approved and accepted by the City Council of the City of Eden Prairie, Minnesota at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Eden Prairie, Minnesota

By: \_\_\_\_\_

Mayor

By: \_\_\_\_\_

Manager

RESIDENT AND REAL ESTATE SERVICES

Hennepin County, Minnesota

I hereby certify that taxes payable in 202\_\_\_\_ and prior years have been paid for the land described on this plat, dated this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_.

Mark V. Chaplin, County Auditor

By \_\_\_\_\_, Deputy

SURVEY DIVISION

Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969), this plat has been approved this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_.

Chris F. Mavis, County Surveyor

By \_\_\_\_\_

REGISTRAR OF TITLES

Hennepin County, Minnesota

I hereby certify that the within plat of ELLIE ADDITION was filed in this office this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_ M.

Amber Bougie, Registrar of Titles

By \_\_\_\_\_, Deputy

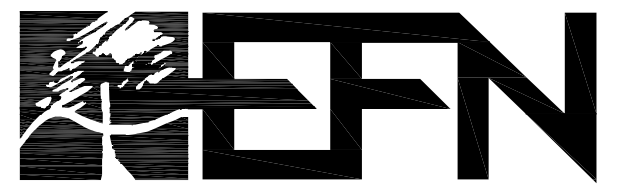
COUNTY RECORDER

Hennepin County, Minnesota

I hereby certify that the within plat of ELLIE ADDITION was recorded in this office this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_ M.

Amber Bougie, County Recorder

By \_\_\_\_\_, Deputy

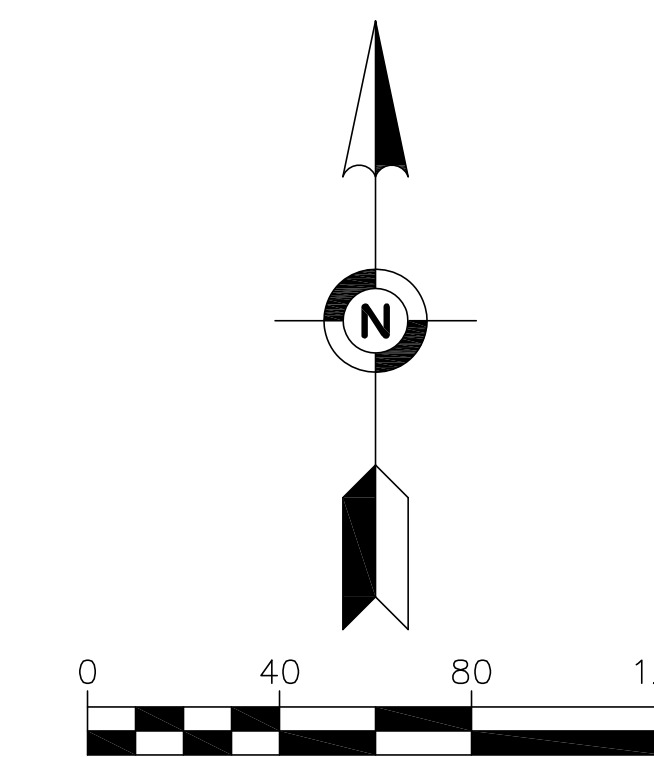


Egan, Field & Nowak, Inc.

land surveyors since 1872

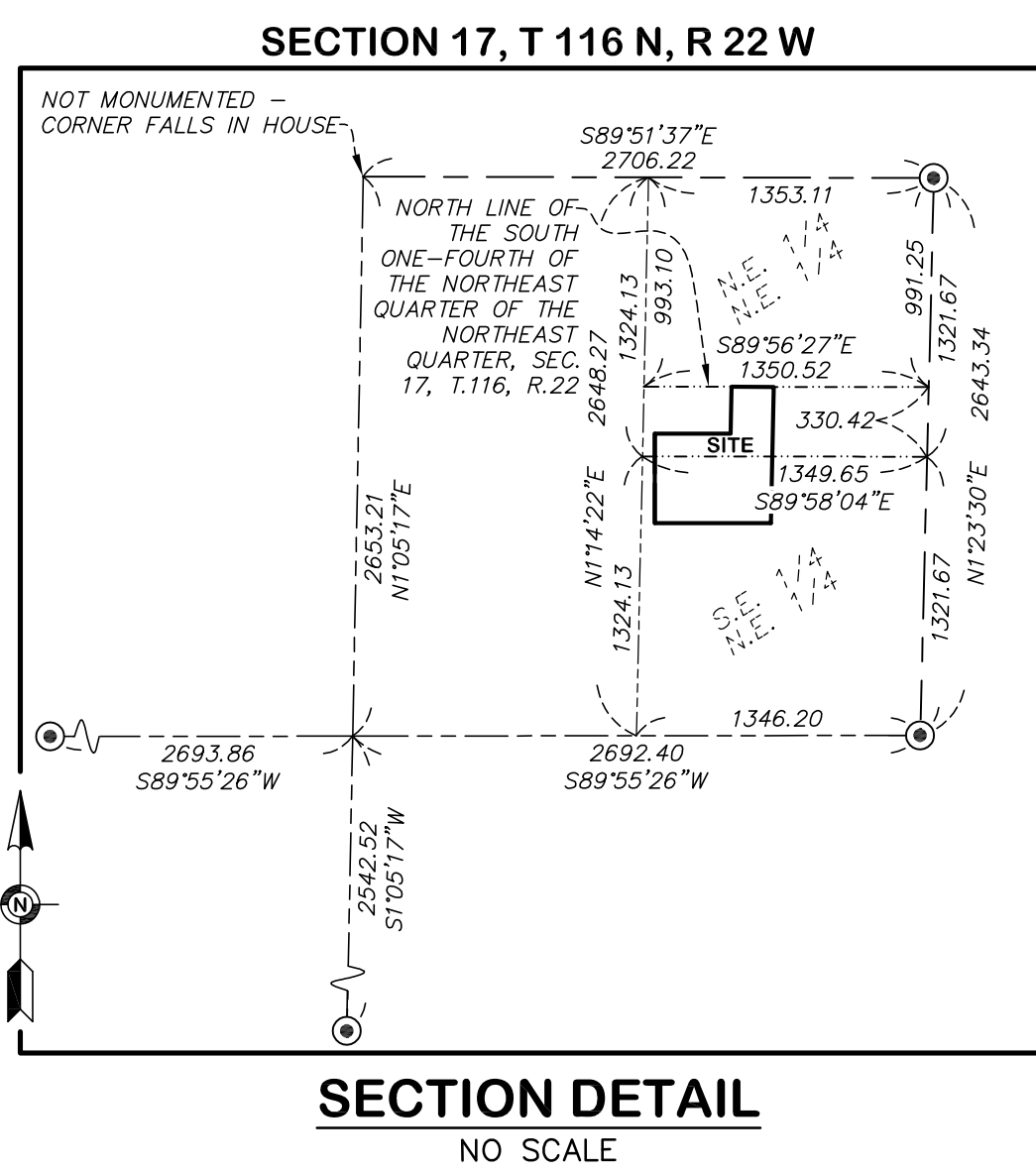
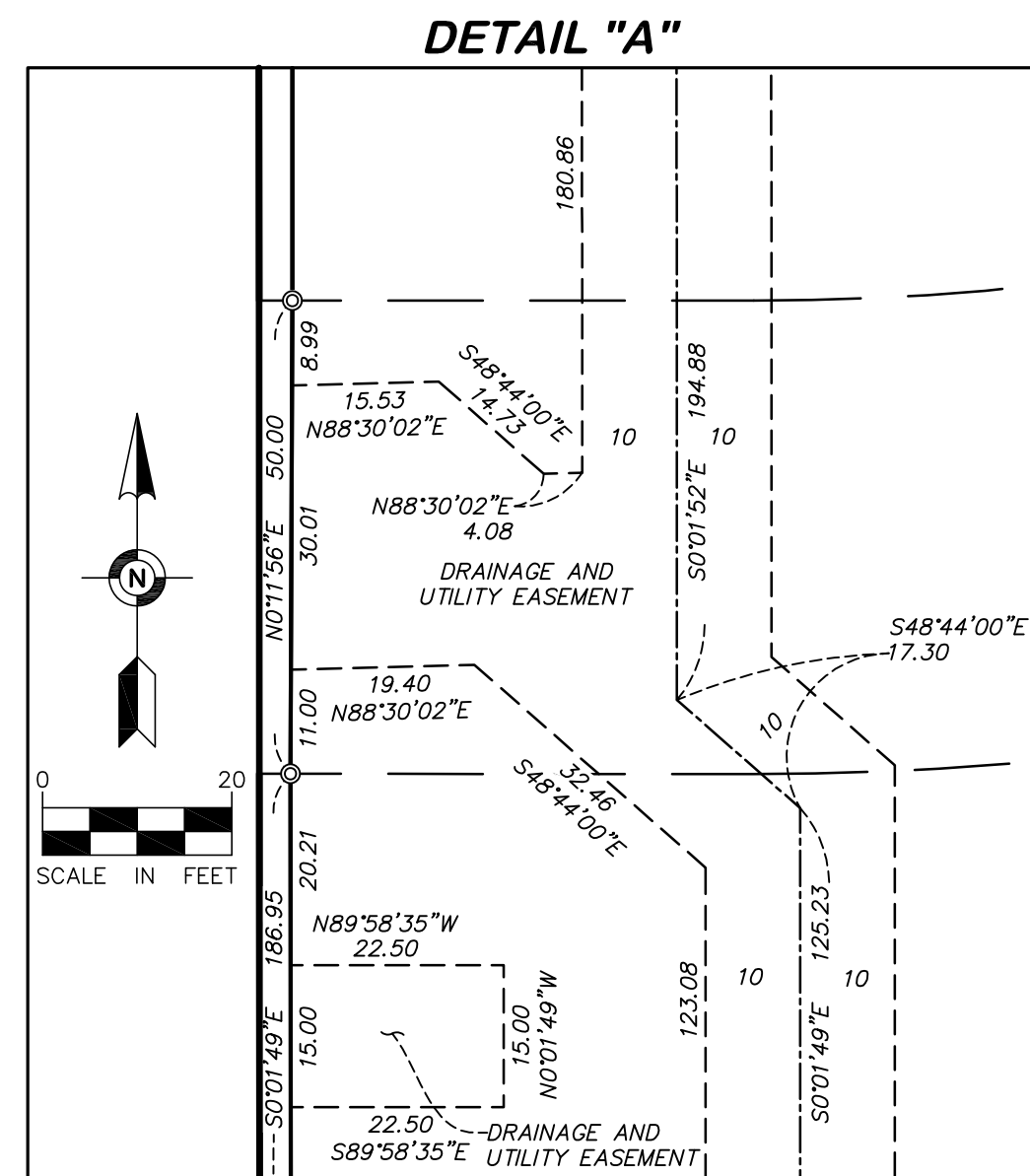
# ELLIE ADDITION

R.T. DOC. NO. \_\_\_\_\_  
C.R. DOC. NO. \_\_\_\_\_

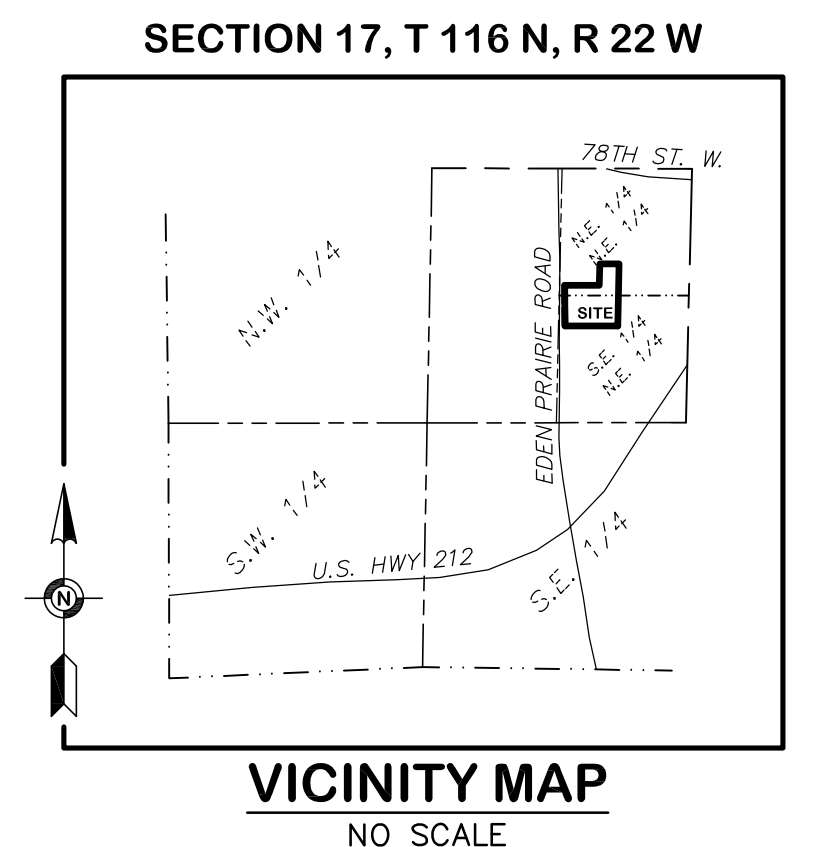
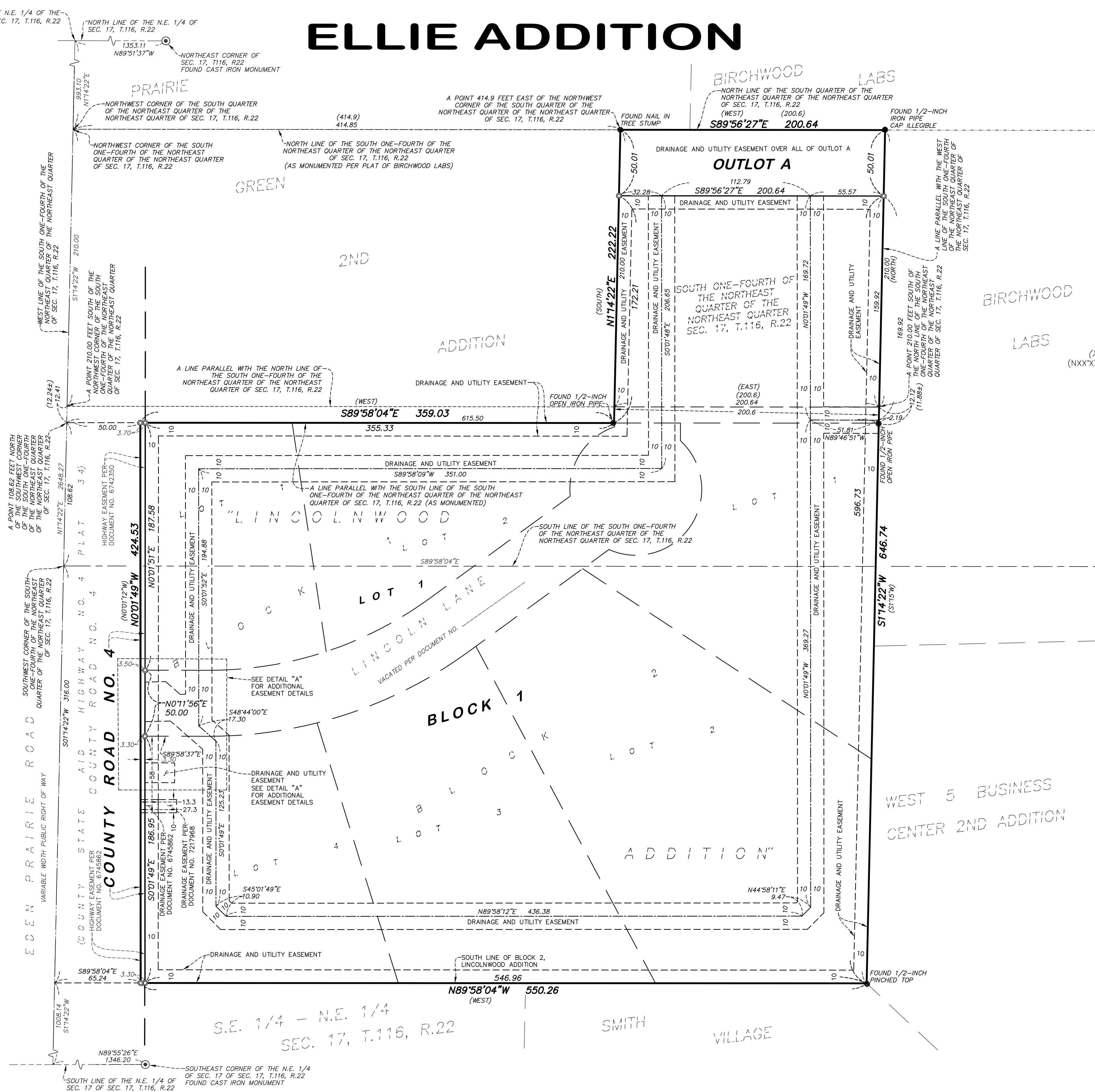


- FOUND HENNEPIN COUNTY CAST IRON MONUMENT
  - FOUND IRON MONUMENT, AS NOTED
  - SET 5/8-INCH X 14-INCH REBAR
  - MARKED WITH LICENSE NO. 47476
  - RECORD DISTANCE PER LEGAL DESCRIPTION
  - RECORD BEARING PER LEGAL DESCRIPTION
- (XXX.XX)  
(XXX'XX'XX"E)

THE SOUTH LINE OF BLOCK 2, LINCOLNWOOD ADDITION, IS ASSUMED TO BEAR NORTH 89 DEGREES 58 MINUTES 04 SECONDS WEST



**SECTION DETAIL**  
NO SCALE







K:\TWC\_LDEV\United\_Properties\Lincoln Lane Residence - Eden Prairie, MN\3 Design\CAD\PlanSheets\C2-DEMO PLAN.dwg May 26, 2022 - 6:29pm  
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**KEYNOTE LEGEND**

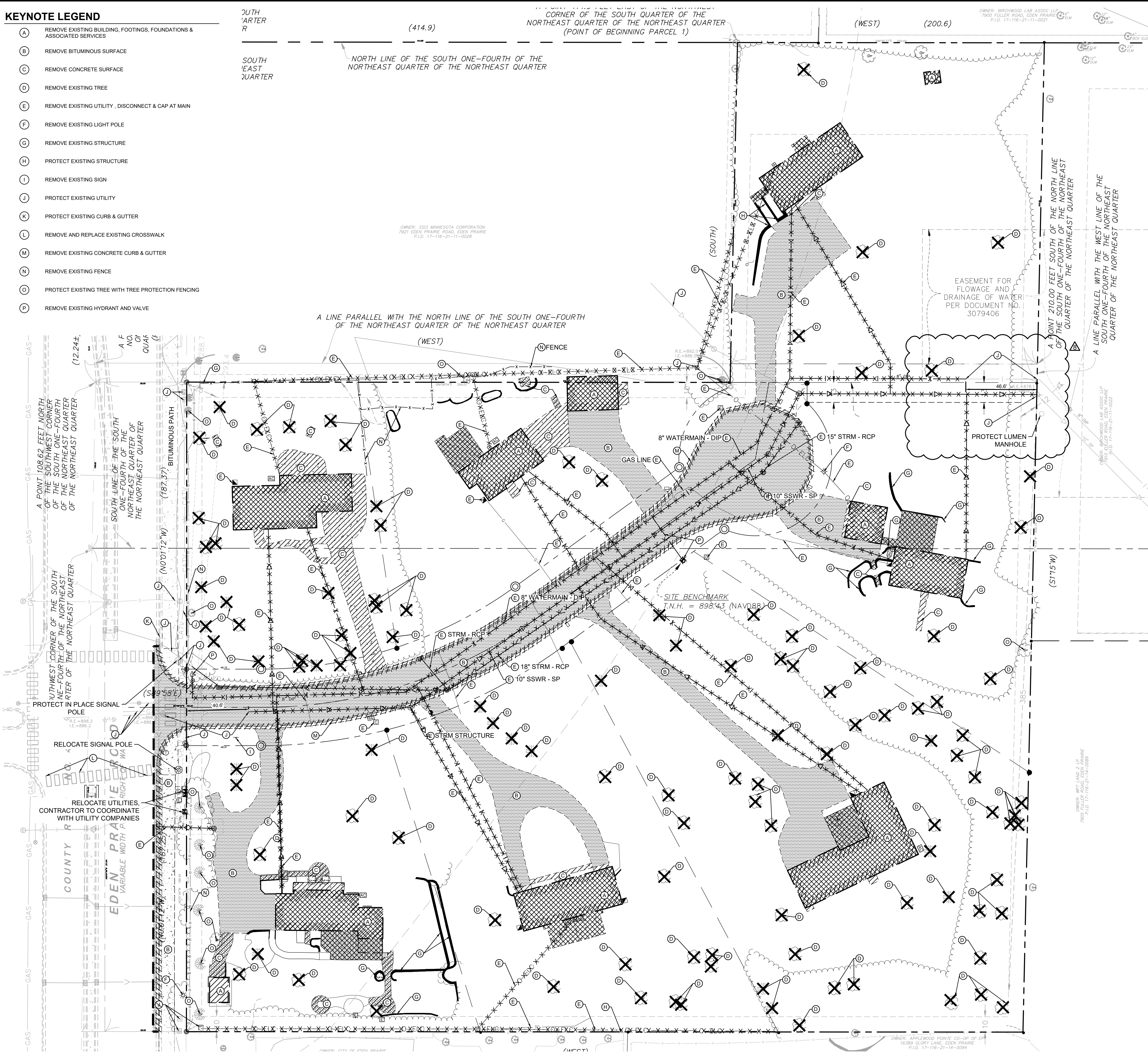
- (A) REMOVE EXISTING BUILDING, FOOTINGS, FOUNDATIONS & ASSOCIATED SERVICES
- (B) REMOVE BITUMINOUS SURFACE
- (C) REMOVE CONCRETE SURFACE
- (D) REMOVE EXISTING TREE
- (E) REMOVE EXISTING UTILITY, DISCONNECT & CAP AT MAIN
- (F) REMOVE EXISTING LIGHT POLE
- (G) REMOVE EXISTING STRUCTURE
- (H) PROTECT EXISTING STRUCTURE
- (I) REMOVE EXISTING SIGN
- (J) PROTECT EXISTING UTILITY
- (K) PROTECT EXISTING CURB & GUTTER
- (L) REMOVE AND REPLACE EXISTING CROSSWALK
- (M) REMOVE EXISTING CONCRETE CURB & GUTTER
- (N) REMOVE EXISTING FENCE
- (O) PROTECT EXISTING TREE WITH TREE PROTECTION FENCING
- (P) REMOVE EXISTING HYDRANT AND VALVE

**DEMOLITION PLAN NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH EDEN PRAIRIE, HENNEPIN COUNTY AND MNDOT.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
14. ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

**LEGEND**

- PROPERTY LINE
- REMOVE BITUMINOUS SURFACE
- REMOVE CONCRETE SURFACE
- REMOVE BUILDING
- CLEARING & GRUBBING
- FULL DEPTH SAWCUT
- REMOVE TREE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION
- EXISTING OVERHEAD POWER LINE
- EXISTING CHAINLINK FENCE
- EXISTING J-BARRIER
- EXISTING RETAINING WALL
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING GAS MAIN
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND CABLE
- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING FLARED END SECTION
- EXISTING STORM MANHOLE
- EXISTING STORM CATCHBASIN
- EXISTING GAS METER
- EXISTING POST INDICATOR VALVE
- EXISTING WELL
- EXISTING AUTOMATIC SPRINKLER
- EXISTING ROOF DRAIN
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING METAL COVER
- EXISTING ELECTRICAL METER
- EXISTING AIR CONDITIONER
- EXISTING TELEPHONE MANHOLE
- EXISTING CABLE BOX
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- EXISTING TREE LINE



**THE ELLIE**  
MULTI-FAMILY RESIDENTIAL BUILDING  
EDEN PRAIRIE, MN

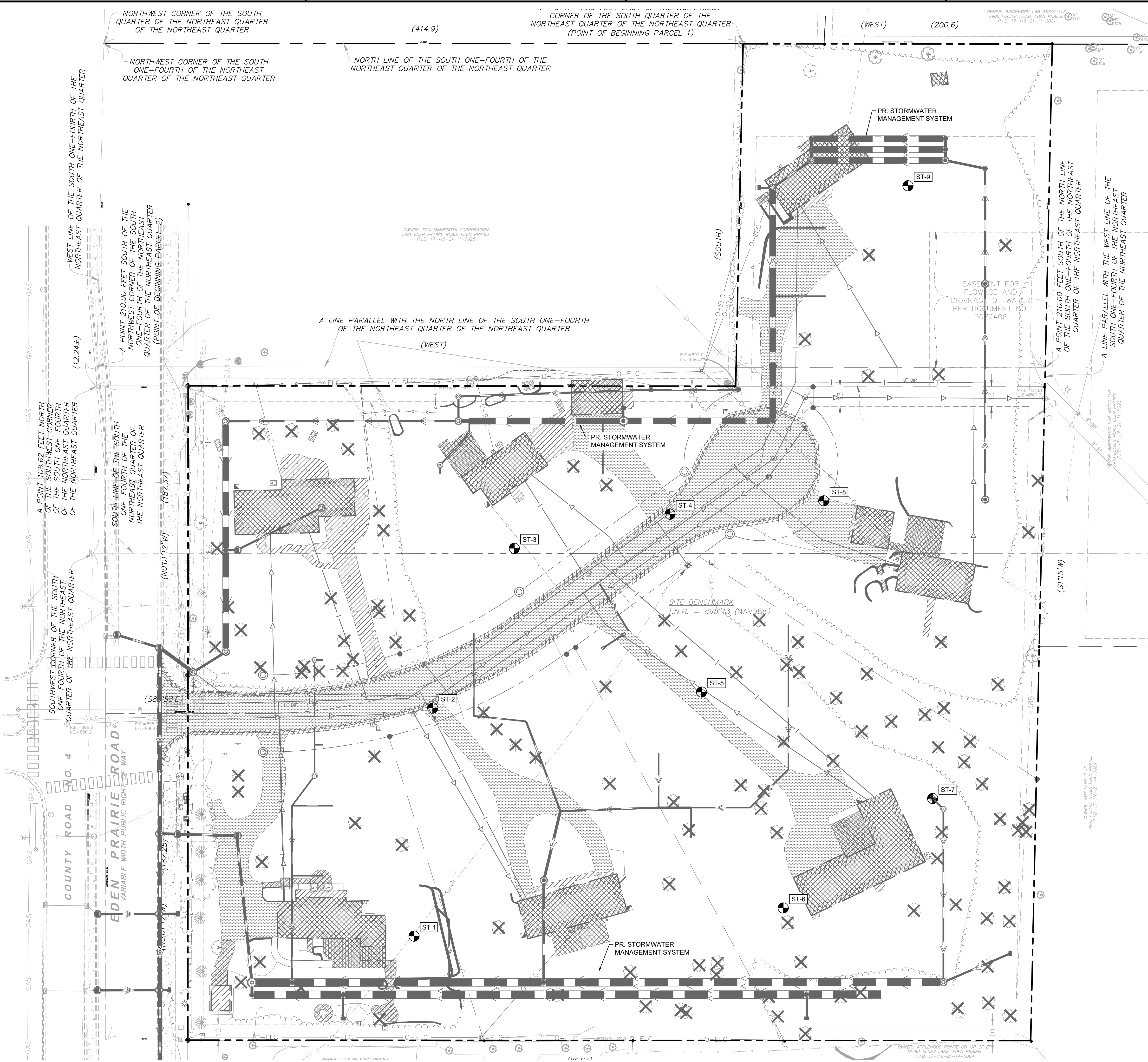
**Kimley & Horn**  
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ALAN L. CATCHPOOL  
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Revisions  
07.21.2021 CITY SUBMITTAL  
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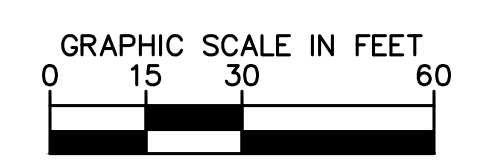
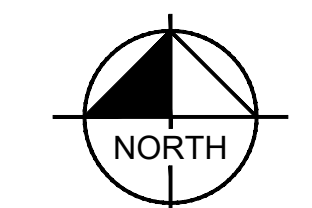
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**DEMO PLAN**  
**C200**

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**LEGEND**

- PROPERTY LINE
- BORING LOCATION
- REMOVE BITUMINOUS SURFACE
- REMOVE CONCRETE SURFACE
- REMOVE BUILDING
- CLEARING & GRUBBING
- FULL DEPTH SAWCUT
- REMOVE TREE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION
- EXISTING OVERHEAD POWER LINE
- EXISTING CHAINLINK FENCE
- EXISTING J-BARRIER
- EXISTING RETAINING WALL
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
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- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- EXISTING TREE LINE



THE ELLIE  
MULTI-FAMILY RESIDENTIAL BUILDING  
EDEN PRAIRIE, MN

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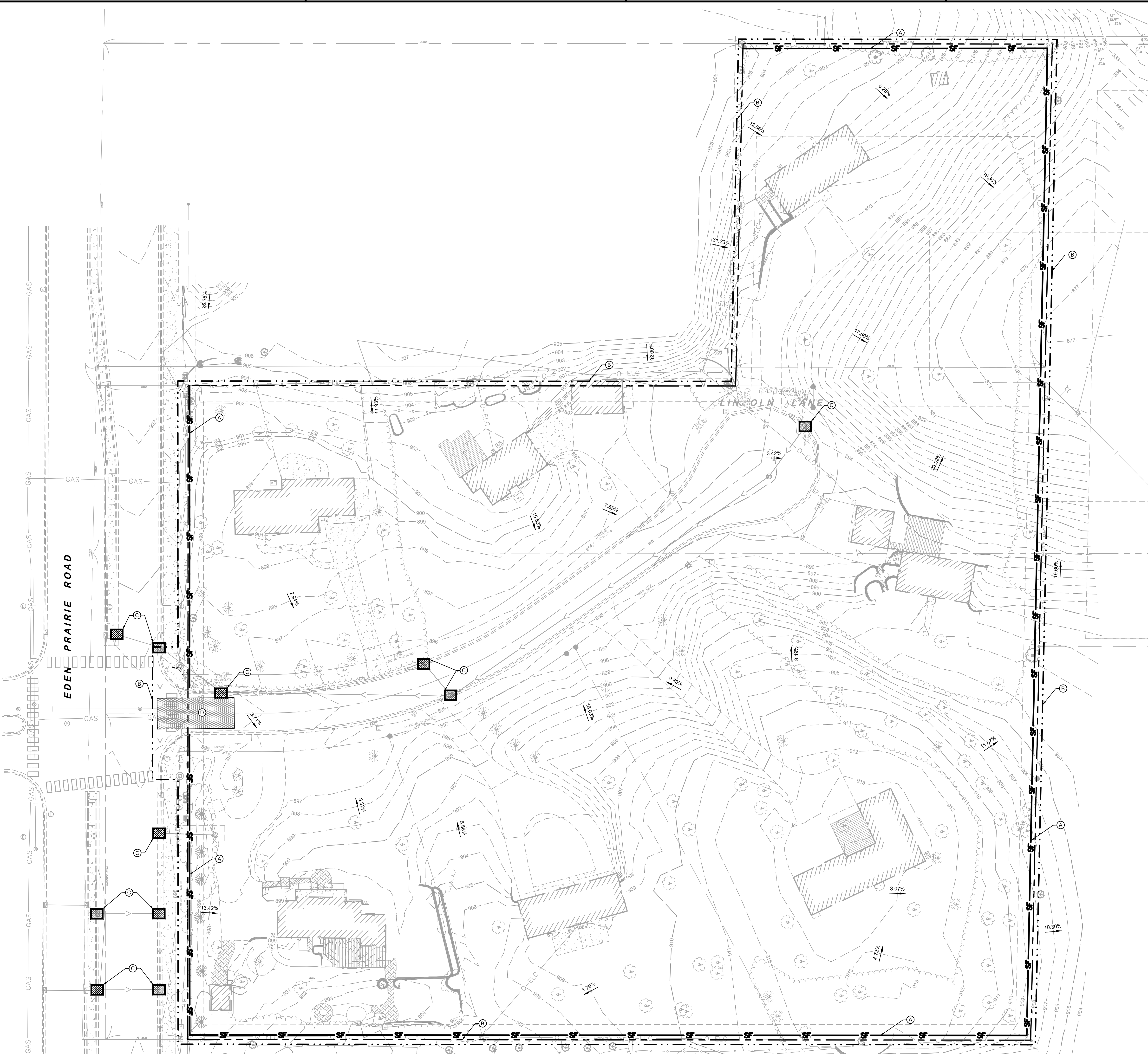
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Revisions

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- 05.10.2022 CITY RE-SUBMITTAL
- 05.25.2022 ISSUE FOR PERMIT

40-21110-00  
BORING LOG PLAN  
C201



**LEGEND**

- ROCK ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE, OFFSET FOR CLARITY
- SAFETY FENCE
- BIO ROLL

**EROSION CONTROL PLAN NOTES**

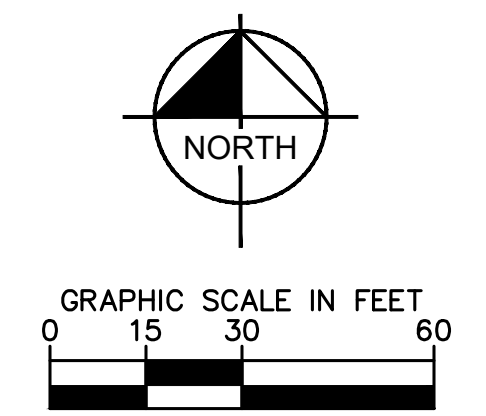
1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
3. THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
4. WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
6. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
7. ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
8. REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
9. THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
10. IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

**SEQUENCE OF CONSTRUCTION:**

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
1. INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
  2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1), CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
  3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
  4. CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
  5. PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
  6. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
  7. TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF EDEN PRAIRIE GRADING PERMIT.

**KEYNOTE LEGEND**

- (A) SILT FENCE
- (B) LIMITS OF DISTURBANCE
- (C) INLET PROTECTION
- (D) CONSTRUCTION ENTRANCE
- (E) BIO ROLL



THE ELLIE  
MULTI-FAMILY RESIDENTIAL BUILDING  
EDEN PRAIRIE, MN

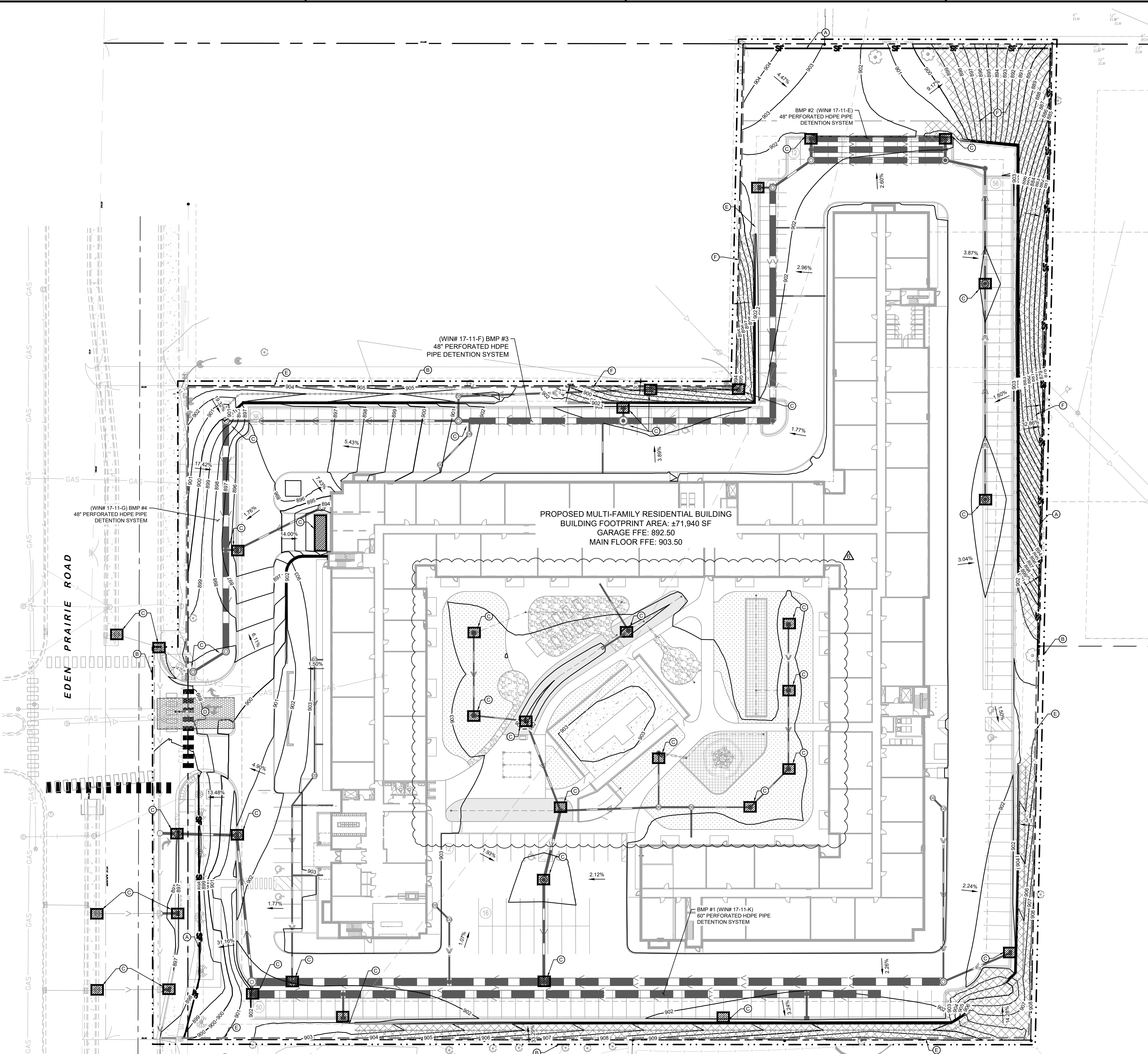
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**EROSION AND SEDIMENT CONTROL PLAN - PHASE 1**  
**C300**



**LEGEND**

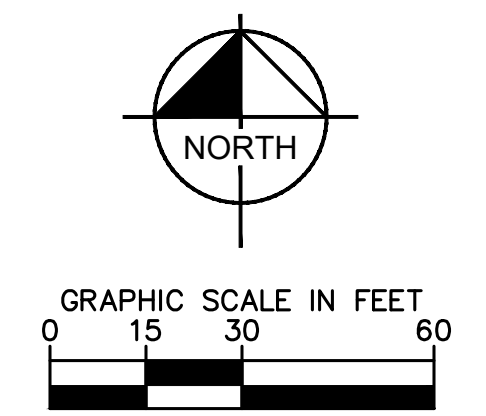
	ROCK ENTRANCE
	EROSION CONTROL BLANKET
	INLET PROTECTION
	SILT FENCE
	LIMITS OF DISTURBANCE, OFFSET FOR CLARITY
	SAFETY FENCE
	BIOROLL

- EROSION CONTROL PLAN NOTES**
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
  - THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
  - WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
  - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
  - ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
  - REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
  - THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
  - IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

- SEQUENCE OF CONSTRUCTION:**
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
  - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, UNDERGROUND SYSTEM, CURBS AND GUTTERS.
  - INSTALL APPROPRIATE INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
  - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  - PREPARE SITE FOR PAVING.
  - PAVE SITE AND INSTALL STRIPING.
  - INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
  - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
  - OBTAIN CONCURRENCE WITH THE CIVIL ENGINEERING CONSULTANT THAT THE SITE HAS BEEN FULLY STABILIZED THEN:
    - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES
    - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPs.

**KEYNOTE LEGEND**

(A)	SILT FENCE
(B)	LIMITS OF DISTURBANCE
(C)	INLET PROTECTION
(D)	CONSTRUCTION ENTRANCE
(E)	BIO-ROLL
(F)	EROSION CONTROL BLANKET



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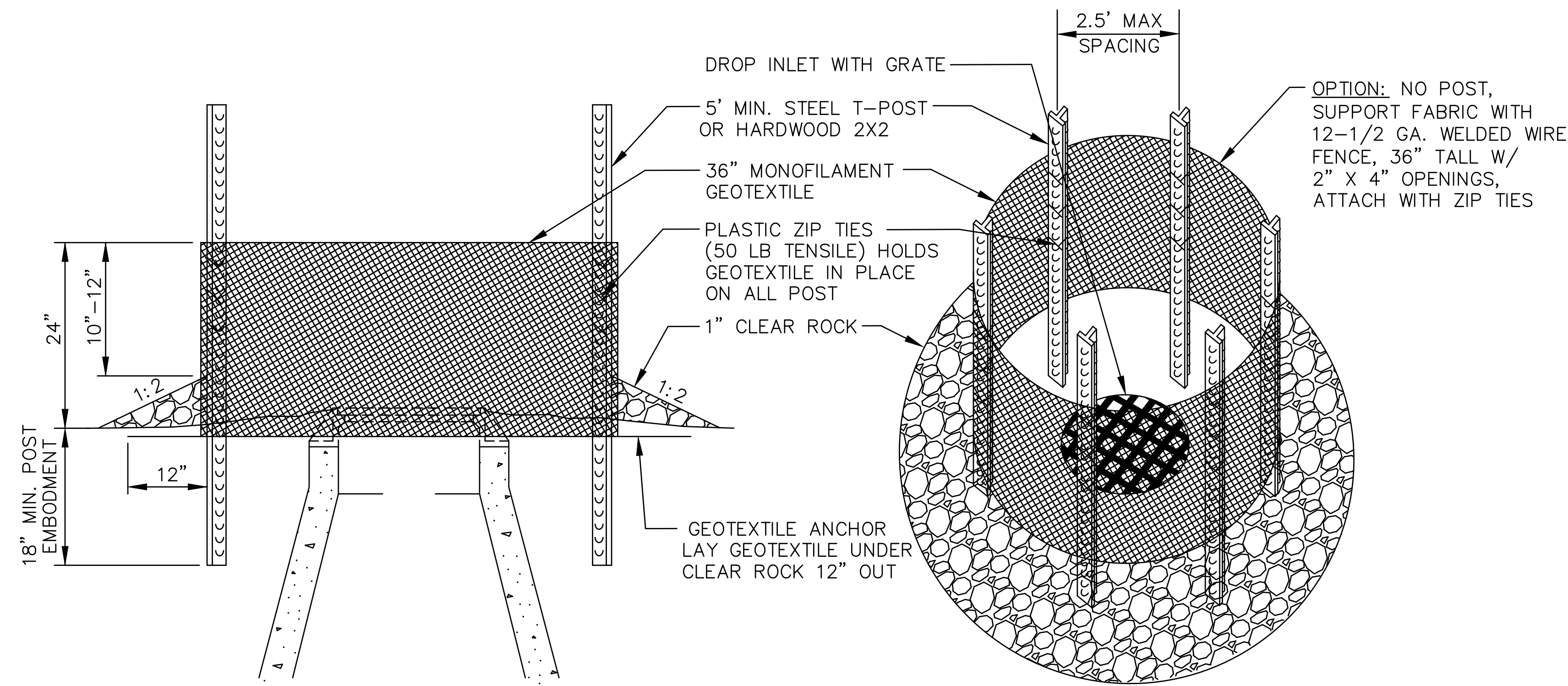
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40-21110-00  
**EROSION AND SEDIMENT CONTROL PLAN - PHASE 2**  
**C301**

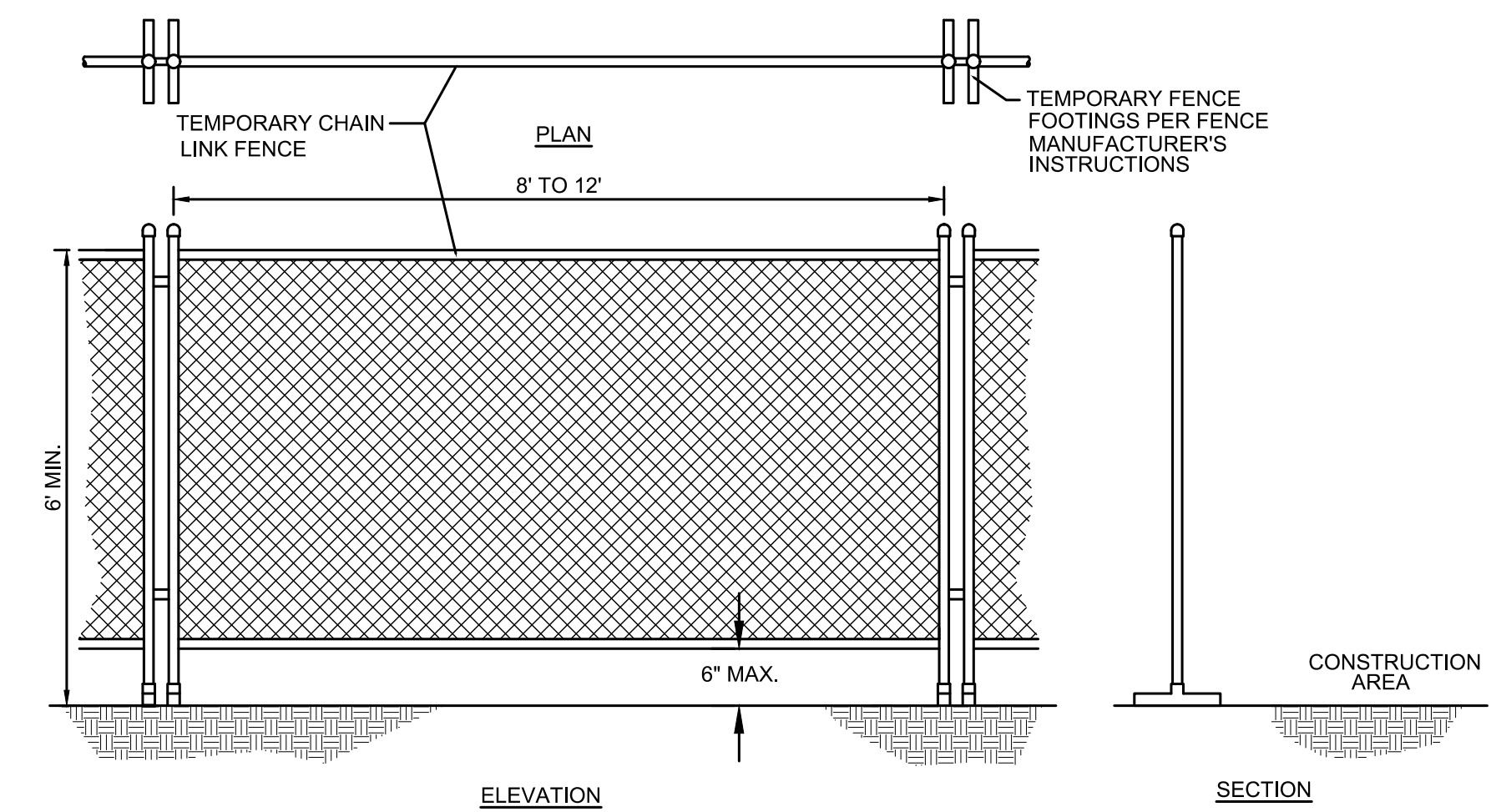
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USE WHERE INLET DRAINS IN AN AREA WITH SLOPES AT 1:3 or LESS

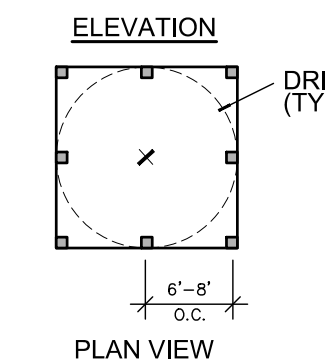
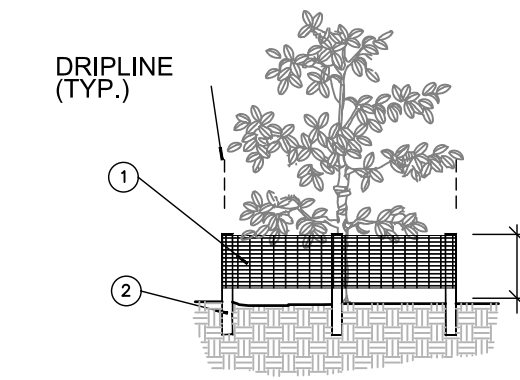
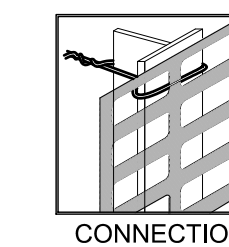
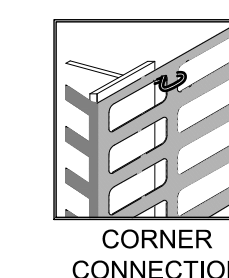
**INLET PROTECTION  
SILT FENCE RING AND ROCK FILTER BERM**



**CONSTRUCTION FENCE**

① 6" "PERIMETER PLUS" CONSTRUCTION FENCE BY CONVEX PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.

② 8' TALL METAL "T" POSTS OR 2" x 2" x 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.



**INSTALLATION NOTES:**

A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.

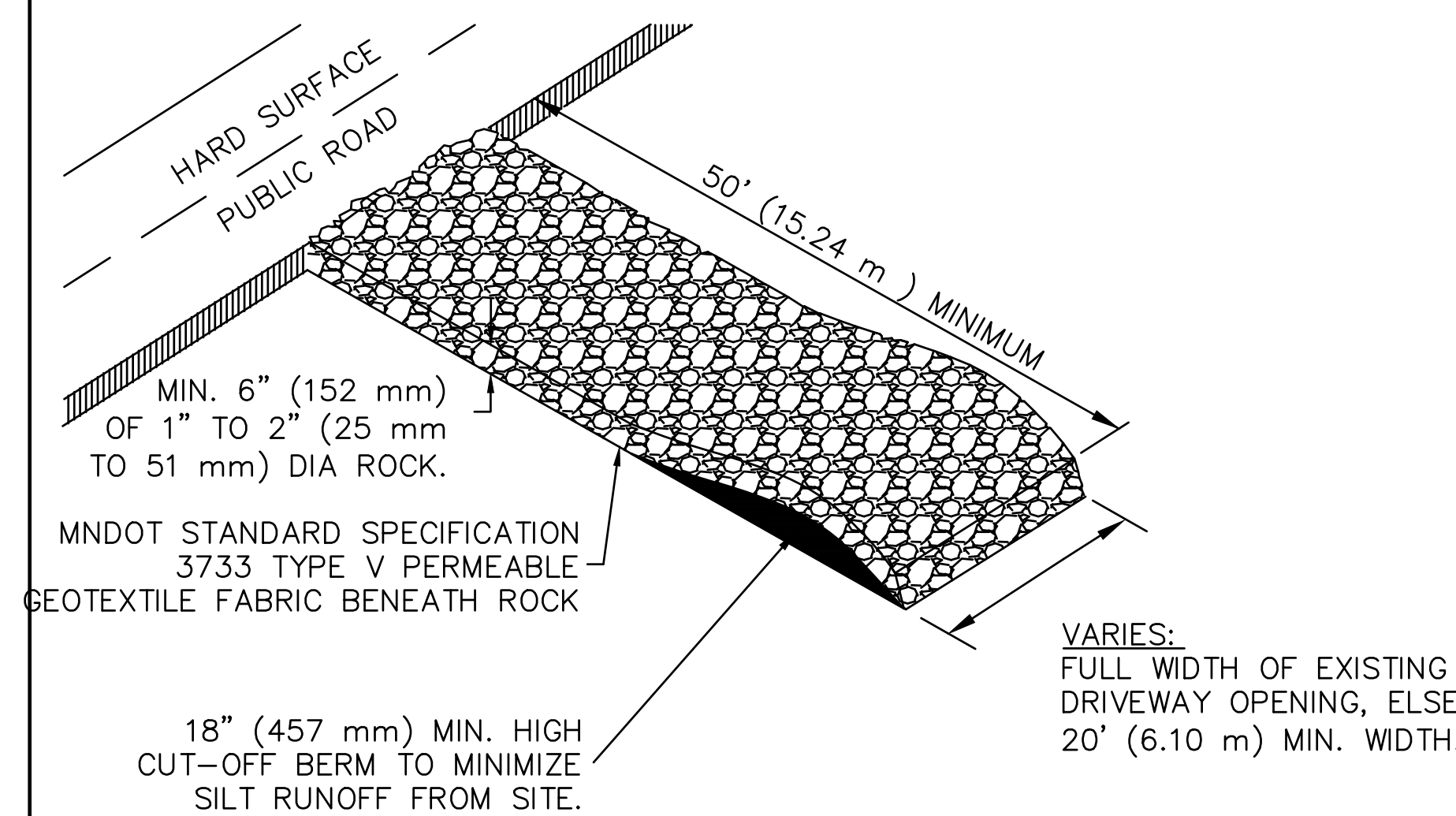
B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/4 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 8' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.

C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).

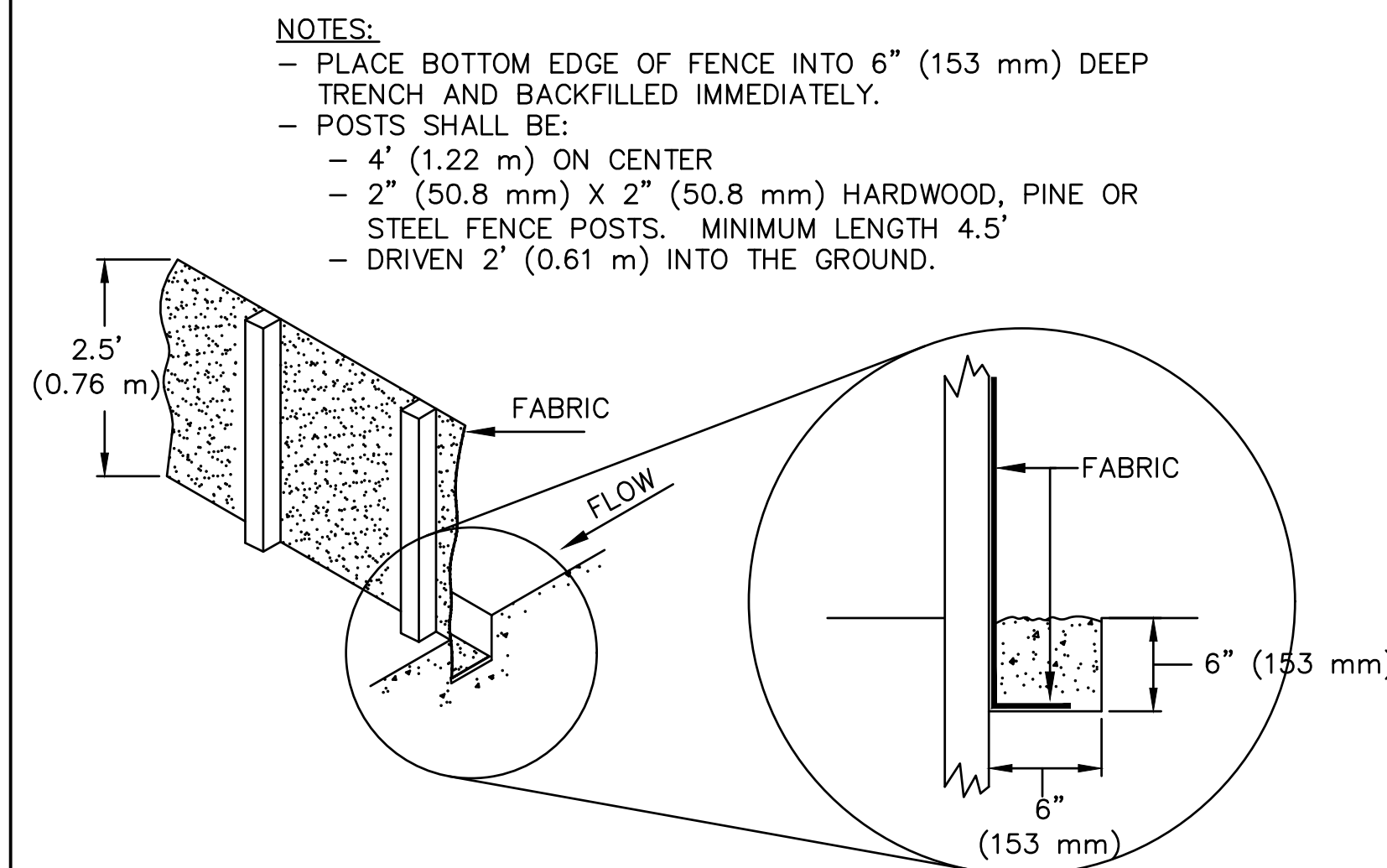
D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONVEX PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

**TREE PROTECTION FENCE BARRIER DETAIL**

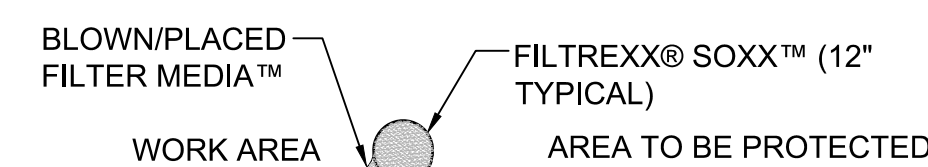


**ROCK CONSTRUCTION ENTRANCE AT ACCESS ROADS**

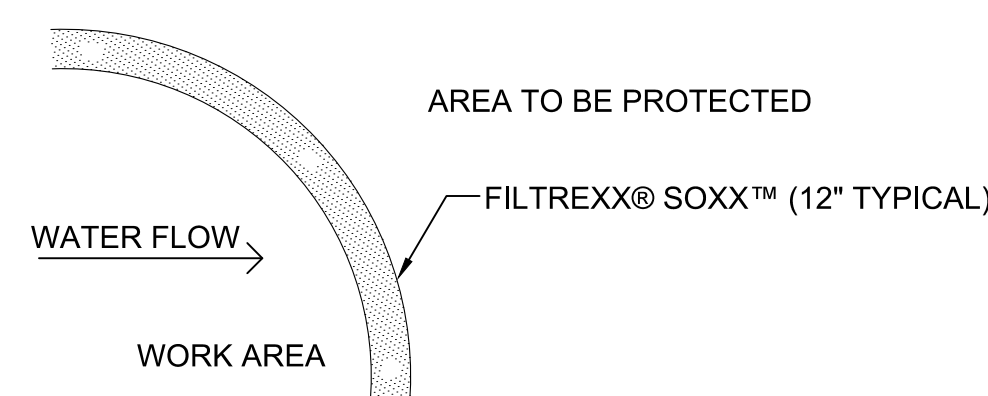


**EROSION CONTROL FENCE**

**NOTES:**  
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.  
2. FILTER MEDIA® FILL TO MEET APPLICATION REQUIREMENTS.  
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.  
4. EQUAL PRODUCT MAY BE SUBMITTED TO ENGINEER BY CONTRACTOR FOR USE.

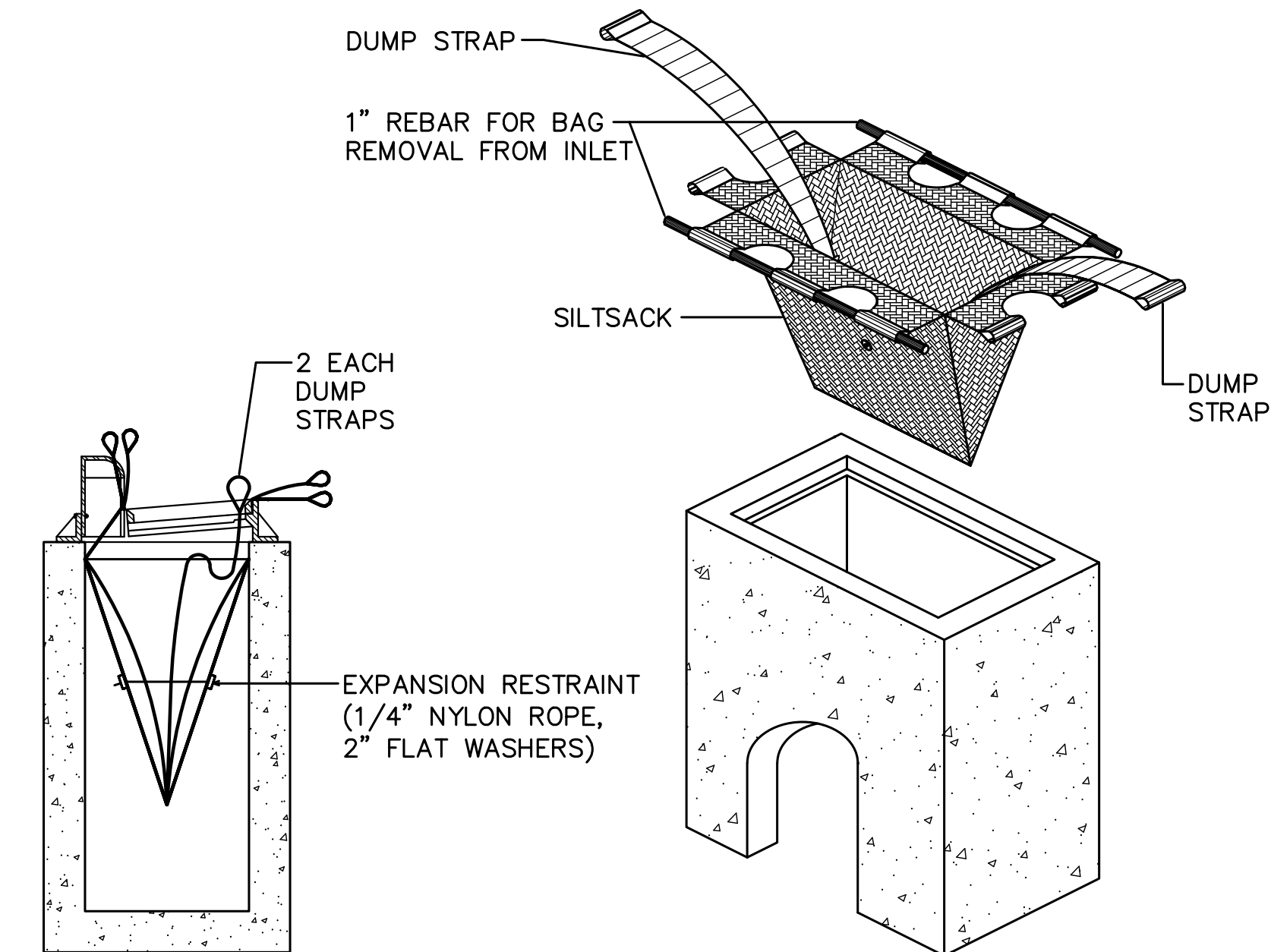


**SECTION NTS**



**PLAN NTS**

**FILTREXX BIO ROLL SEDIMENT CONTROL**



**INLET PROTECTION  
SEDIMENT FILTER SACK**

**DLR Group**  
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2022 KIMLEY-HORN AND ASSOCIATES, INC.  
707 EUCLID STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE 651-666-4197  
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
*Alan L. Catchpool*  
ALAN L. CATCHPOOL  
DATE: 05/25/2022 LIC. NO. 47989

**THE ELLIE**  
MULTI-FAMILY RESIDENTIAL BUILDING  
EDEN PRAIRIE, MN

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40-21110-00  
**EROSION AND SEDIMENT CONTROL DETAILS**  
**C302**

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**KEYNOTE LEGEND**

- (A) CONCRETE SIDEWALK
- (B) 3' CONCRETE VALLEY GUTTER
- (C) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (D) ACCESSIBLE CURB RAMP
- (E) ACCESSIBLE PARKING SIGN
- (F) ACCESSIBLE PARKING
- (G) AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
- (H) PROPOSED PERVIOUS ASPHALT PAVEMENT
- (I) LANDSCAPE AREA - SEE LANDSCAPE PLANS
- (J) BIKE RACKS
- (K) HEAVY DUTY CONCRETE PAVEMENT
- (L) B612 CURB & GUTTER (TYP.)
- (M) TRANSITION CURB
- (N) FLAT CURB
- (O) HEAVY DUTY ASPHALT PAVEMENT
- (P) 4" WOOD FENCE
- (Q) PROPOSED RETAINING WALL WITH 4' FENCE WHERE OVER 2' TALL
- (R) DRAINAGE SWALE
- (S) STOP SIGN
- (T) CONCRETE TRANSFORMER PAD
- (U) CANOPY, PER ARCHITECTURAL PLAN
- (V) 6' CONCRETE WHEEL STOP, TYP.

**SHORELAND SETBACK CALC'S - 1000' FROM MITCHELL LAKE**

THE ELLIE	
EXISTING IMPERVIOUS IN SETBACK	36,585 SF (26.1%)
PROPOSED IMPERVIOUS IN SETBACK	74,528 SF (53.2%)

OWNER: SSI MINNESOTA CORPORATION  
7921 EDEN PRAIRIE ROAD, EDEN PRAIRIE  
P.L.D. 17-116-21-11-0028

OWNER: BIRCHWOOD LAB ASSOC LLP  
7900 FULLER ROAD, EDEN PRAIRIE  
P.L.D. 17-116-21-11-0027

OWNER: BIRCHWOOD LAB ASSOC LLP  
7900 FULLER ROAD, EDEN PRAIRIE  
P.L.D. 17-116-21-11-0027

OWNER: WFL LAND & LP  
16399 65.00'Y LAKE, EDEN PRAIRIE  
P.L.D. 17-116-21-14-0089

OWNER: APPLEWOOD POINTE CO-OP OF EP  
16399 65.00'Y LAKE, EDEN PRAIRIE  
P.L.D. 17-116-21-14-0084

**LEGEND**

- PROPERTY LINE
- X-X-X-X- PROPOSED FENCE
- BUILDING SETBACK LINE
- UTILITY EASEMENT LINE
- RETAINING WALL WITH 4' FENCE WHERE OVER 2' TALL
- PROPOSED CURB AND GUTTER
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED PERVIOUS ASPHALT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- ☀ PROPOSED SITE LIGHTING - BY OTHERS

**PROPERTY SUMMARY**

THE ELLIE	
TOTAL PROPERTY AREA	6.40 AC
PROPOSED IMPERVIOUS AREA	3.18 AC TOTAL (BUILDING: 1.65 AC, PAVEMENT: 1.24 AC, SIDEWALKS: 0.29 AC)
PROPOSED PERVIOUS AREA	3.22 AC
USABLE OPEN AREA	PROVIDED: 44,679 SF REQUIRED: 36,750 SF

**ZONING SUMMARY**

EXISTING ZONING	R1-22 (SINGLE FAMILY RESIDENTIAL) / I-2
PROPOSED ZONING	HIGH DENSITY RESIDENTIAL RM 2.5
PARKING SETBACKS	SIDE/REAR = 10' ROAD = 35'
BUILDING SETBACKS	FRONT = 35' SIDE = 25' REAR = 30'

**BUILDING DATA SUMMARY**

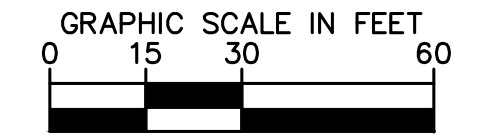
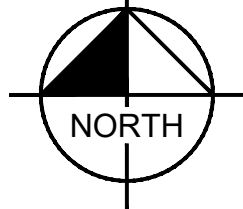
AREAS	
PROPOSED PROPERTY	6.40 AC
BUILDING AREA	±350,747 GSF
BUILDING FOOTPRINT	71,749 SF
BUILDING HEIGHT	±43 FEET
BUILDING UNITS	239
FLOOR AREA RATIO	1.4
BASE AREA RATIO	0.25
UNITS PER ACRE	37.3

PARKING	
REQUIRED PARKING	(39) STUDIOS+ (200) 1-BEDROOM+ = 439 STALLS
PROPOSED PARKING	404 SPACES: 197 INTERIOR, 207 EXTERIOR
BICYCLE PARKING	PROVIDED: 123 SPACES (103 INTERIOR, 20 EXTERIOR) REQUIRED: 123 SPACES
ADA STALLS REQ'D / PROVIDED	8 STALLS / 8 STALLS

**SITE PLAN NOTES**

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EGAN, FIELD & NOWAK, INC., DATED 06/16/2021. KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- TOTAL LAND AREA IS 6.40 ACRES.
- PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
- CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
- REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL PARKING STALLS TO BE 9' IN WIDTH AND 19' IN LENGTH UNLESS OTHERWISE INDICATED.
- TRASH AND RECYCLING WILL BE LOCATED INDOORS.



**DLR Group**  
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ALAN L. CATCHPOOL  
MIN. LIC. NO. 49989  
DATE: 05/25/2022

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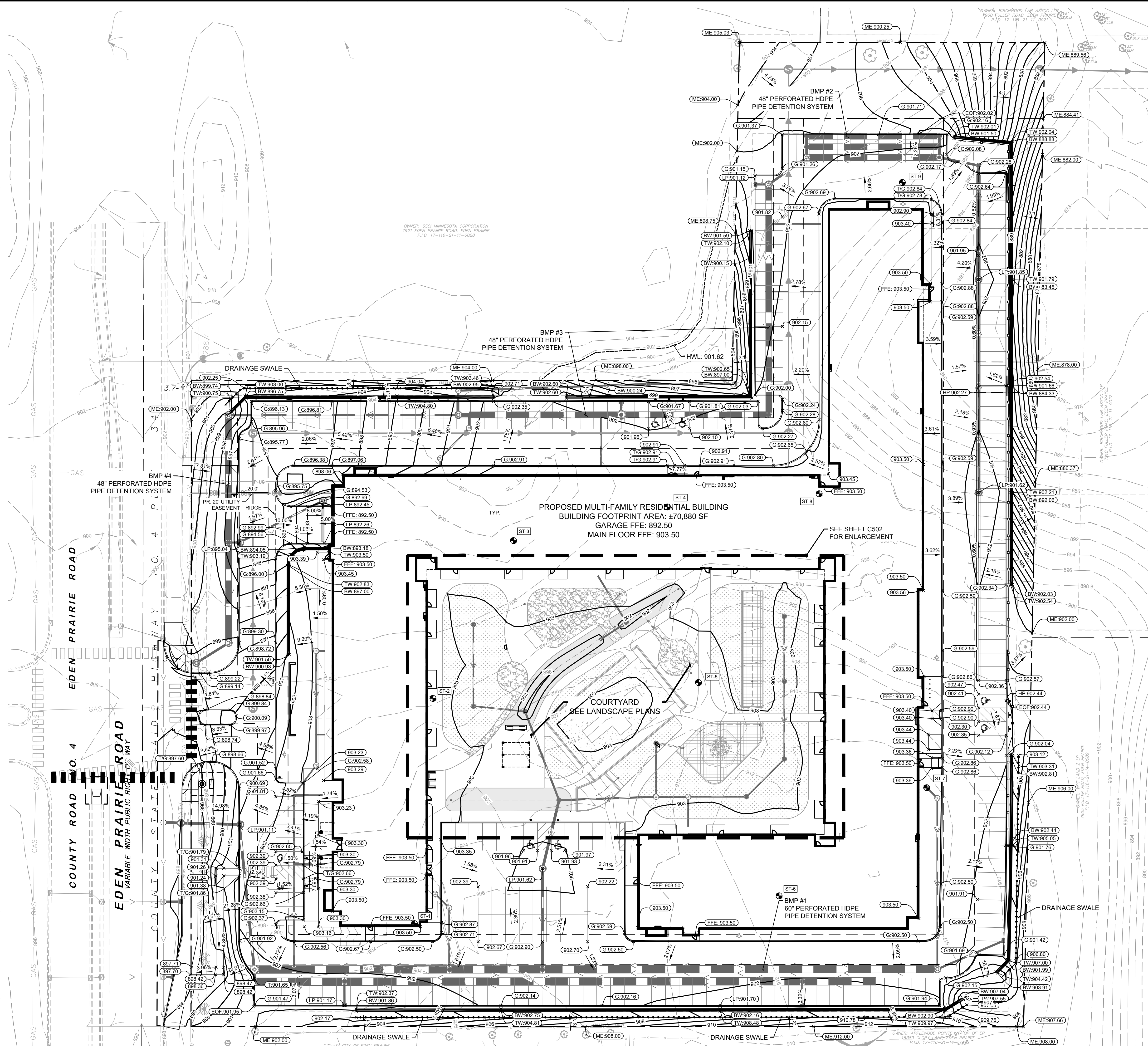
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40-21110-00  
**SITE PLAN**

**C400**

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**LEGEND**

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE (CURB INLET CASTING)
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW
	PROPOSED DRAINAGE DIRECTION
	PROPOSED ADA SLOPE
	BORING LOCATION

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF EDEN PRAIRIE, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
  - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ +1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
  - STORM SEWER PIPE SHALL BE AS FOLLOWS:  
RCP PER ASTM C-76  
HDPE: 0' - 10' PER AASHTO M-252  
HDPE: 12' OR GREATER PER ASTM F-2306  
PVC SCH. 40 PER ASTM D-1785  
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:  
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443  
HDPE PER ASTM 312  
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
  - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
  - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
  - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
  - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
  - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
  - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
  - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
  - INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
  - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
  - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
  - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A D A COMPLIANCE ISSUES.
  - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
  - CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
  - ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION 896.00 OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
  - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
  - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
  - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
  - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

**NOTE:**  
LANDSCAPE GRADES AT BUILDING PERIMETER TO BE 3" BELOW FINISH FLOOR ELEVATION EXCEPT NEAR BUILDING ACCESS POINTS OR IMMEDIATELY ADJACENT TO HARDSCAPE.

**EARTHWORK SUMMARY**

RAW CUT:	44,006 CY
RAW FILL:	27,121 CY
NET:	-16,885 CY (CUT)

**DLR Group**  
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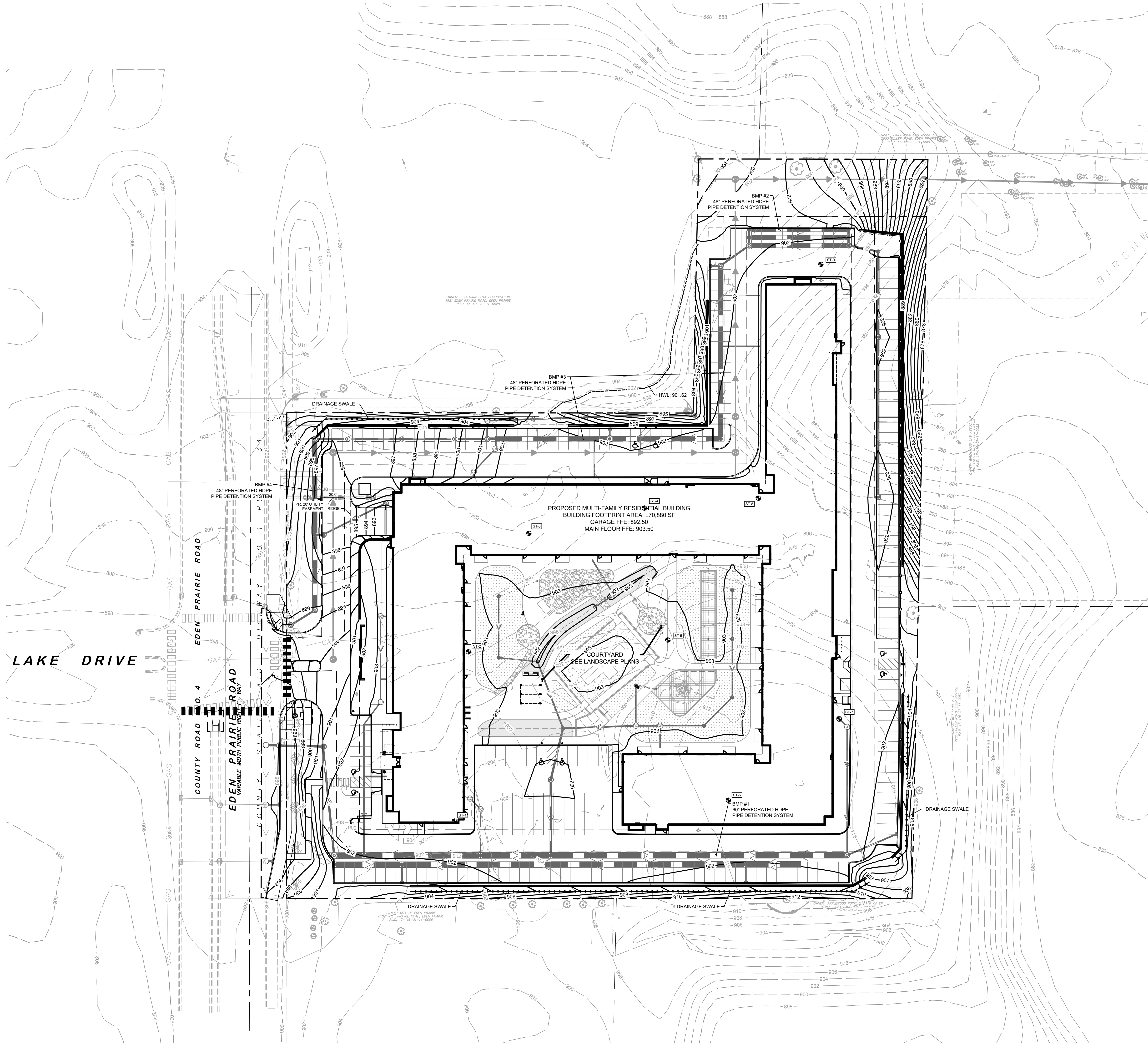
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**GRADING PLAN**  
**C500**



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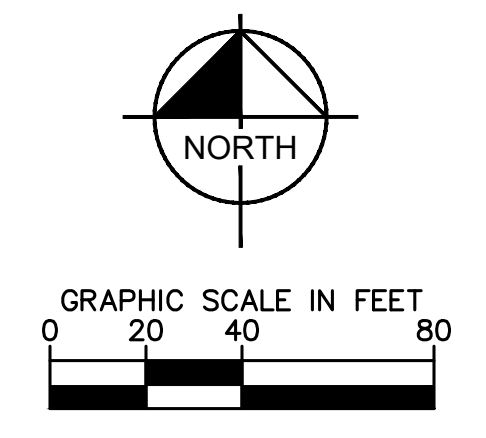
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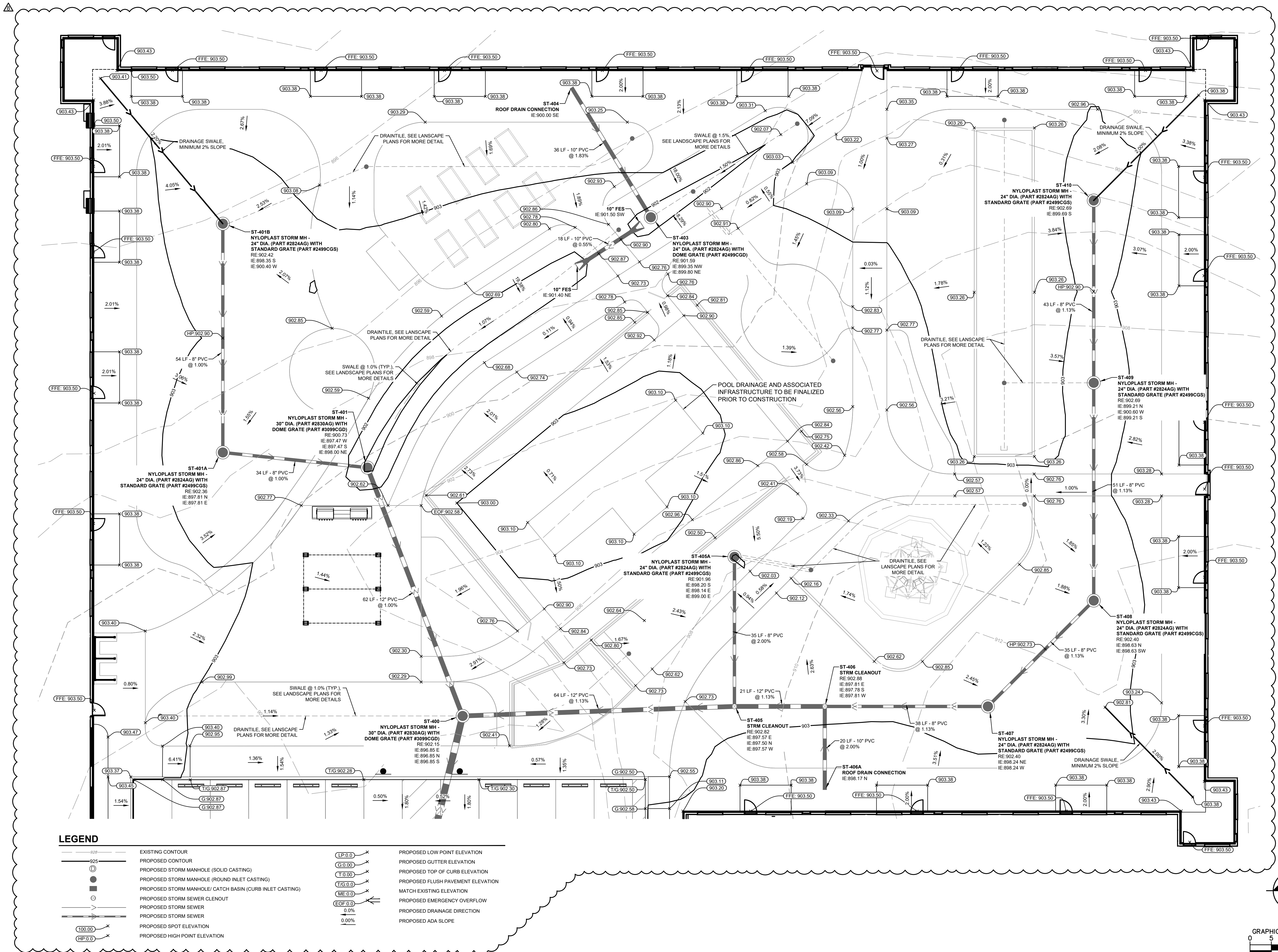
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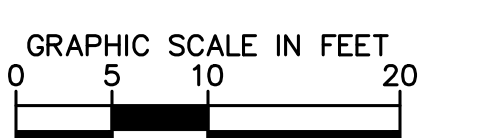
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 05.25.2022 ISSUE FOR PERMIT

40-21110-00  
**GRADING PLAN**  
**C501**



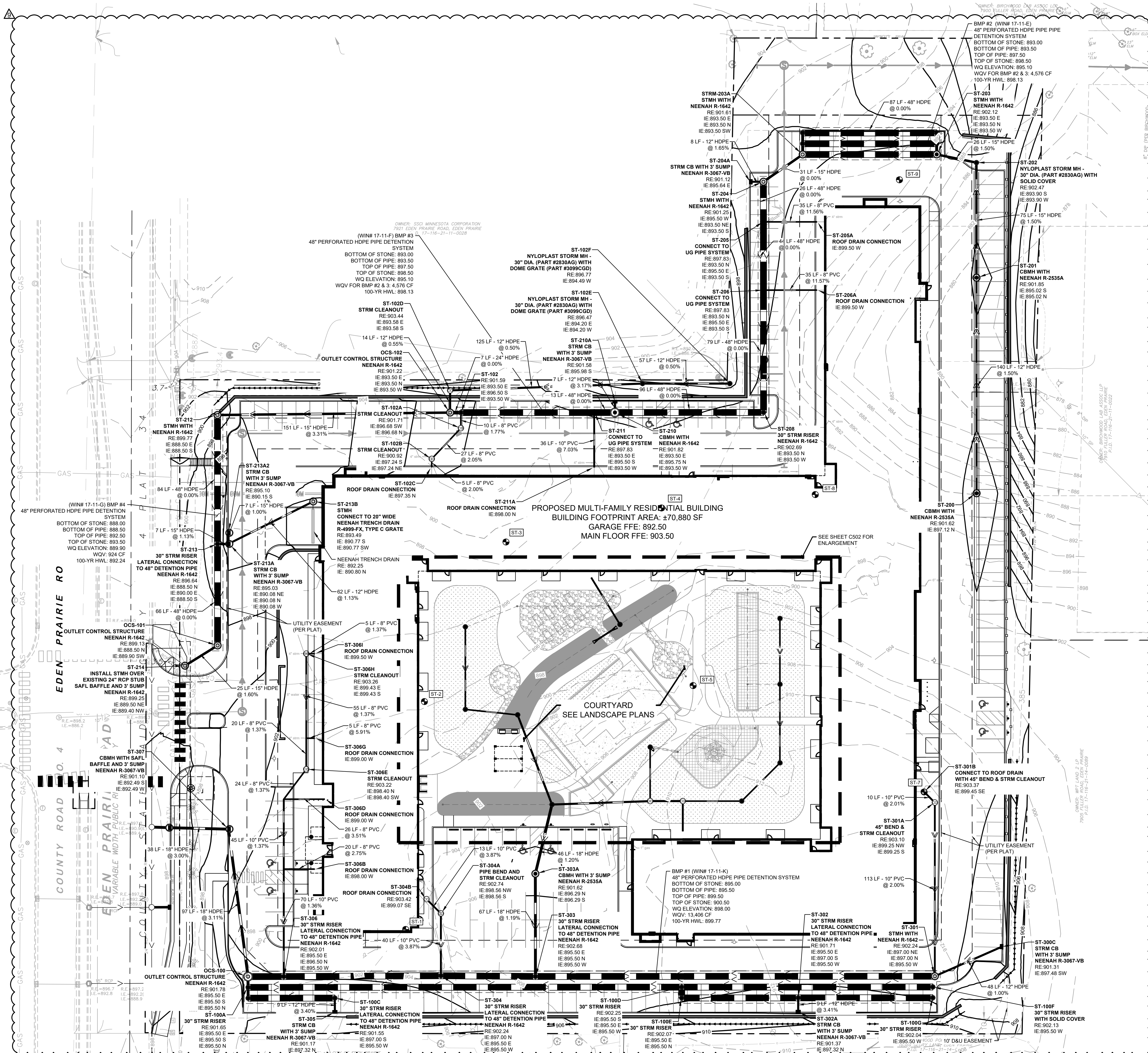
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	EXISTING CONTOUR		PROPOSED LOW POINT ELEVATION
	PROPOSED CONTOUR		PROPOSED GUTTER ELEVATION
	PROPOSED STORM MANHOLE (SOLID CASTING)		PROPOSED TOP OF CURB ELEVATION
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)		PROPOSED FLUSH PAVEMENT ELEVATION
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)		MATCH EXISTING ELEVATION
	PROPOSED STORM SEWER CLEANOUT		PROPOSED EMERGENCY OVERFLOW
	PROPOSED STORM SEWER		PROPOSED DRAINAGE DIRECTION
	PROPOSED STORM SEWER		PROPOSED ADA SLOPE
	PROPOSED SPOT ELEVATION		
	PROPOSED HIGH POINT ELEVATION		



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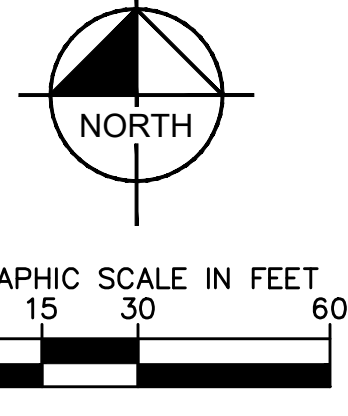
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**LEGEND**

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED STORM SEWER
	PROPOSED WATERMAIN
	PROPOSED SANITARY SEWER
	BORING LOCATION

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF EDEN PRAIRIE, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
  - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ <1-800-252-1166> AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
  - STORM SEWER PIPE SHALL BE AS FOLLOWS:  
RCP PER ASTM C-76  
HDPE: 7" OR GREATER PER ASTM M-252  
HDPE: 12" OR GREATER PER ASTM F-2306  
PVC SCH. 40 PER ASTM D-3034
  - STORM SEWER FITTINGS SHALL BE AS FOLLOWS:  
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443  
HDPE PER ASTM 3212  
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
  - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
  - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
  - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
  - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
  - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
  - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
  - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
  - INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
  - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
  - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
  - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATUTORY STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1% VERTICAL TO 12% HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. COMPLIANCE ISSUES.
  - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
  - CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
  - REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
  - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
  - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
  - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
  - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



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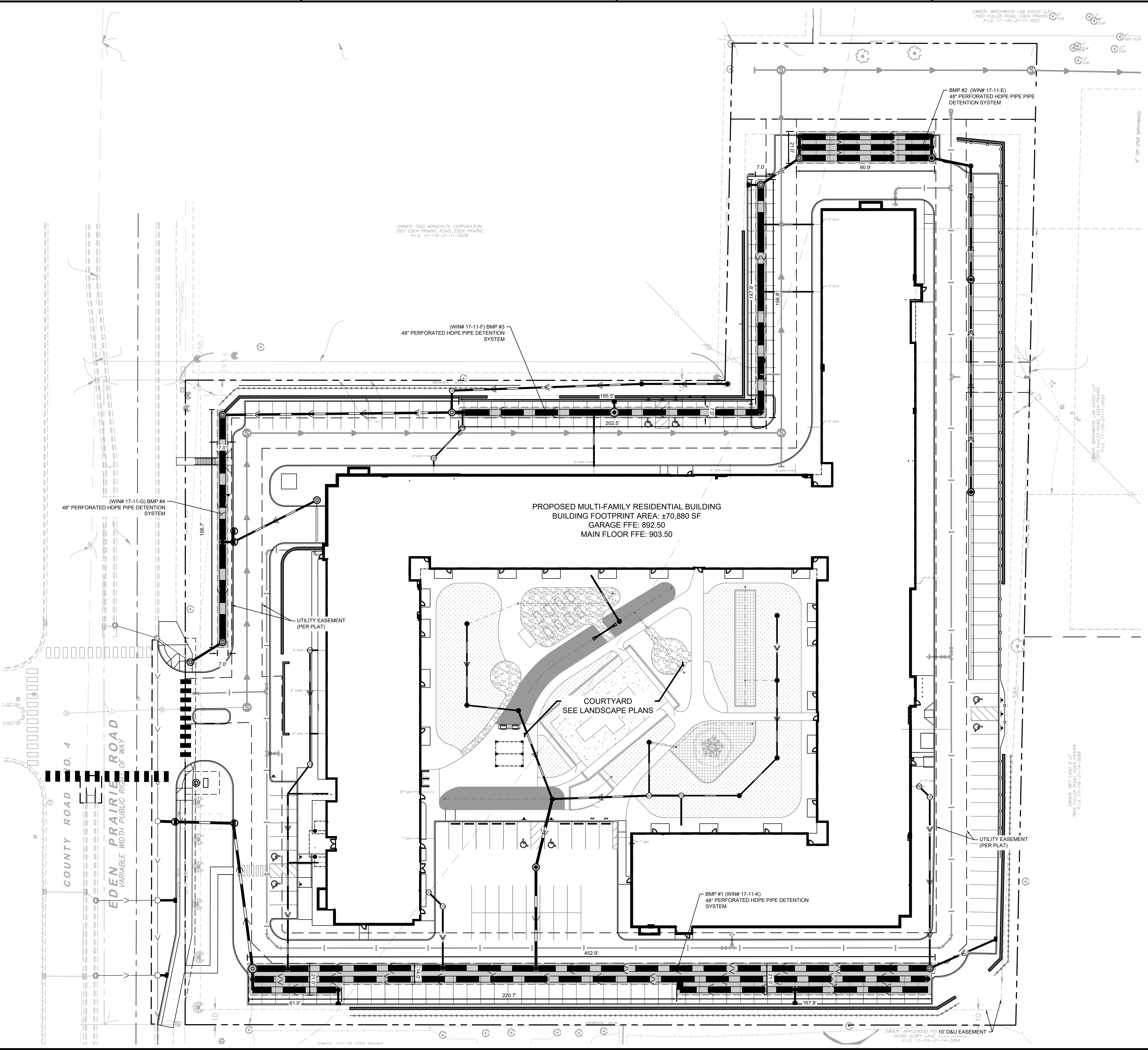
**THE ELLIE**  
MULTI-FAMILY RESIDENTIAL BUILDING  
EDEN PRAIRIE, MN

**ISSUE FOR PERMIT**  
MAY 25, 2022  
Revisions

10.07.2021 CITY RE-SUBMITTAL  
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12.01.2021 CITY RE-SUBMITTAL  
04.25.2022 50% CD DRAWINGS  
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06.30.2022 PERMIT REVIEW RESPONSES

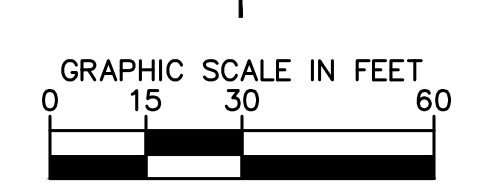
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**STORM SEWER PLAN**  
**C503**

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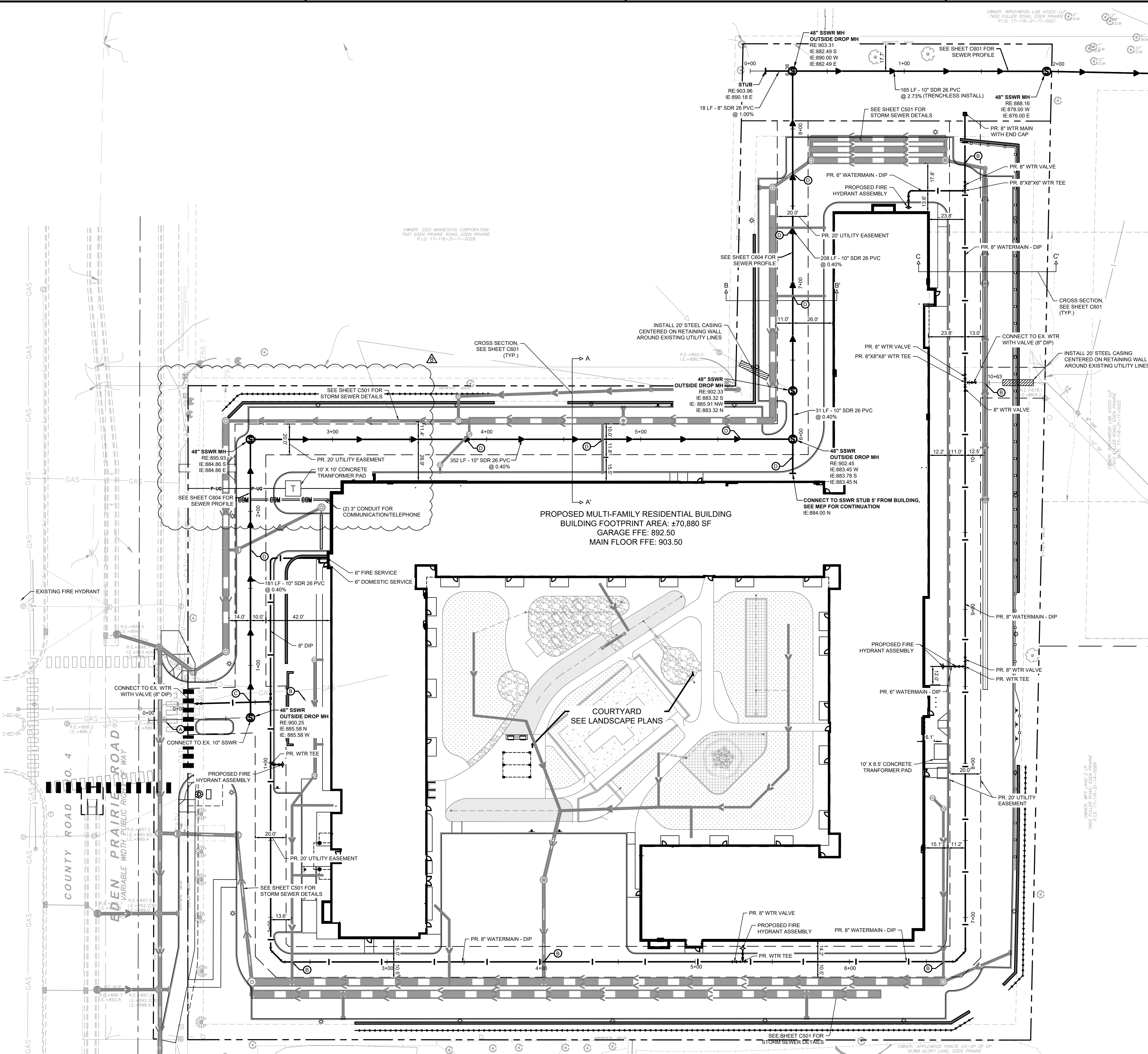


**LEGEND**

---	PROPERTY LINE
- - - -	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
○	PROPOSED STORM MANHOLE (SOLID CASTING)
●	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
◐	PROPOSED STORM MANHOLE CATCH BASIN (CURB INLET CASTING)
○	PROPOSED STORM SEWER CLENOUT
→	PROPOSED STORM SEWER
→	PROPOSED WATERMAIN
→	PROPOSED SANITARY SEWER



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 ALAN L. CATCHPOOL  
 DATE: 05/25/2022 LIC. NO. 47989



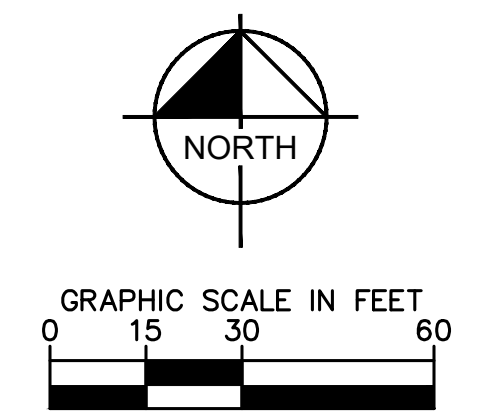
**LEGEND**

EXISTING	PROPOSED	
(Symbol)	(Symbol)	GATE VALVE
(Symbol)	(Symbol)	HYDRANT
(Symbol)	(Symbol)	REDUCER
(Symbol)	(Symbol)	TEE
(Symbol)	(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	(Symbol)	SANITARY CLEANOUT
(Symbol)	(Symbol)	WATERMAIN
(Symbol)	(Symbol)	SANITARY SEWER
(Symbol)	(Symbol)	STORM SEWER
(Symbol)	(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	(Symbol)	TELEPHONE
(Symbol)	(Symbol)	GAS MAIN

- UTILITY PLAN NOTES**
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
  - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:  
 PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12" DEEP  
 6" PVC SCHEDULE 40 PER ASTM D-1785  
 10" DUCTILE IRON (CL52) PIPE PER AWWA C150
  - WATER LINES SHALL BE AS FOLLOWS:  
 4" AND LARGER DUCTILE IRON PIPE PER AWWA C150  
 SMALLER THAN 3" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
  - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
  - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
  - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
  - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-5" COVER ON ALL WATERLINES.
  - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI Z1.11 (AWWA C-151) (CLASS 50).
  - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
  - TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
  - ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
  - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
  - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
  - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF EDEN PRAIRIE AND/OR STATE OF MN WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
  - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
  - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
  - BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
  - ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

**KEYNOTE LEGEND**

(A)	ADJUST EXISTING CASTING TO NEW RIM ELEVATION
(B)	STORM-WATER CROSSING, MAINTAIN 18" OF VERTICAL SEPARATION
(C)	WATER-SANITARY SEWER CROSSING, MAINTAIN 18" OF VERTICAL SEPARATION
(D)	STORM-SANITARY SEWER CROSSING, MAINTAIN 12" OF VERTICAL SEPARATION



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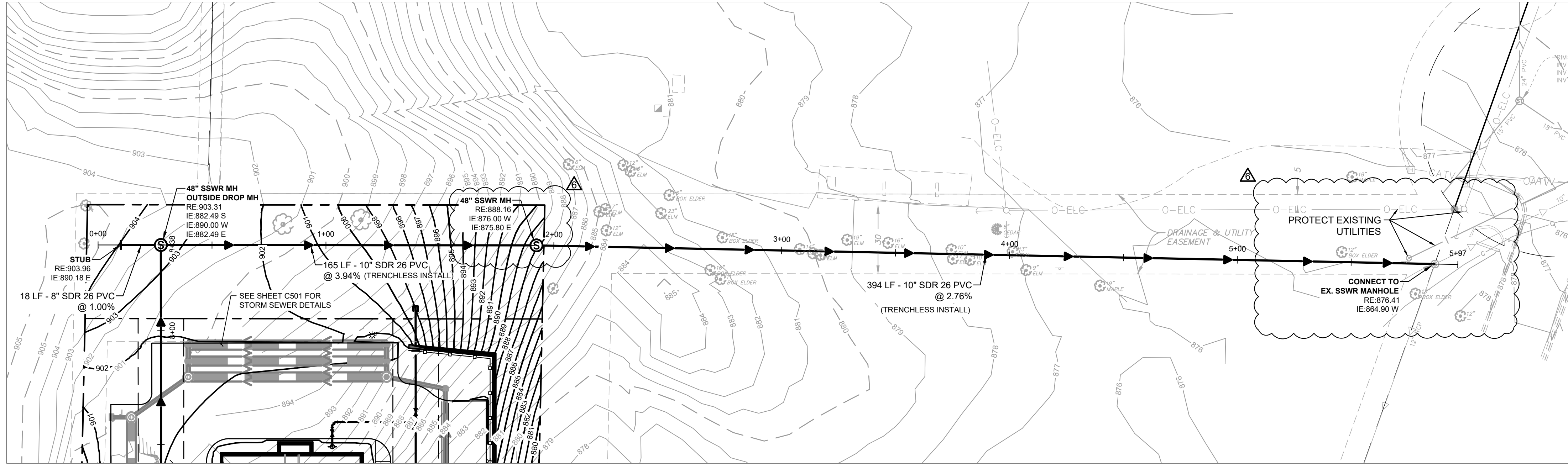
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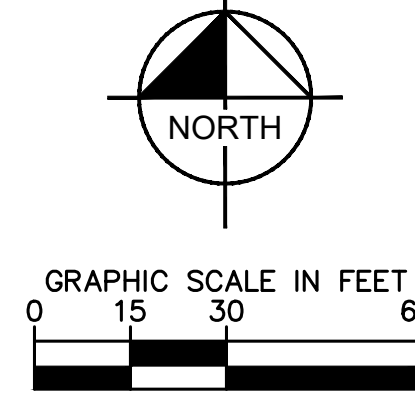
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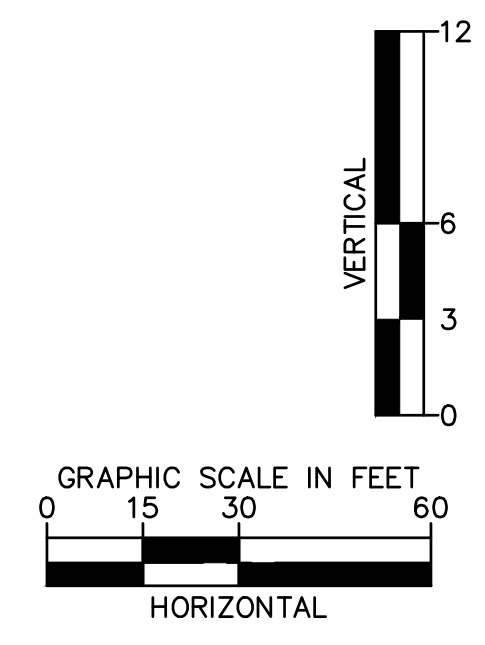
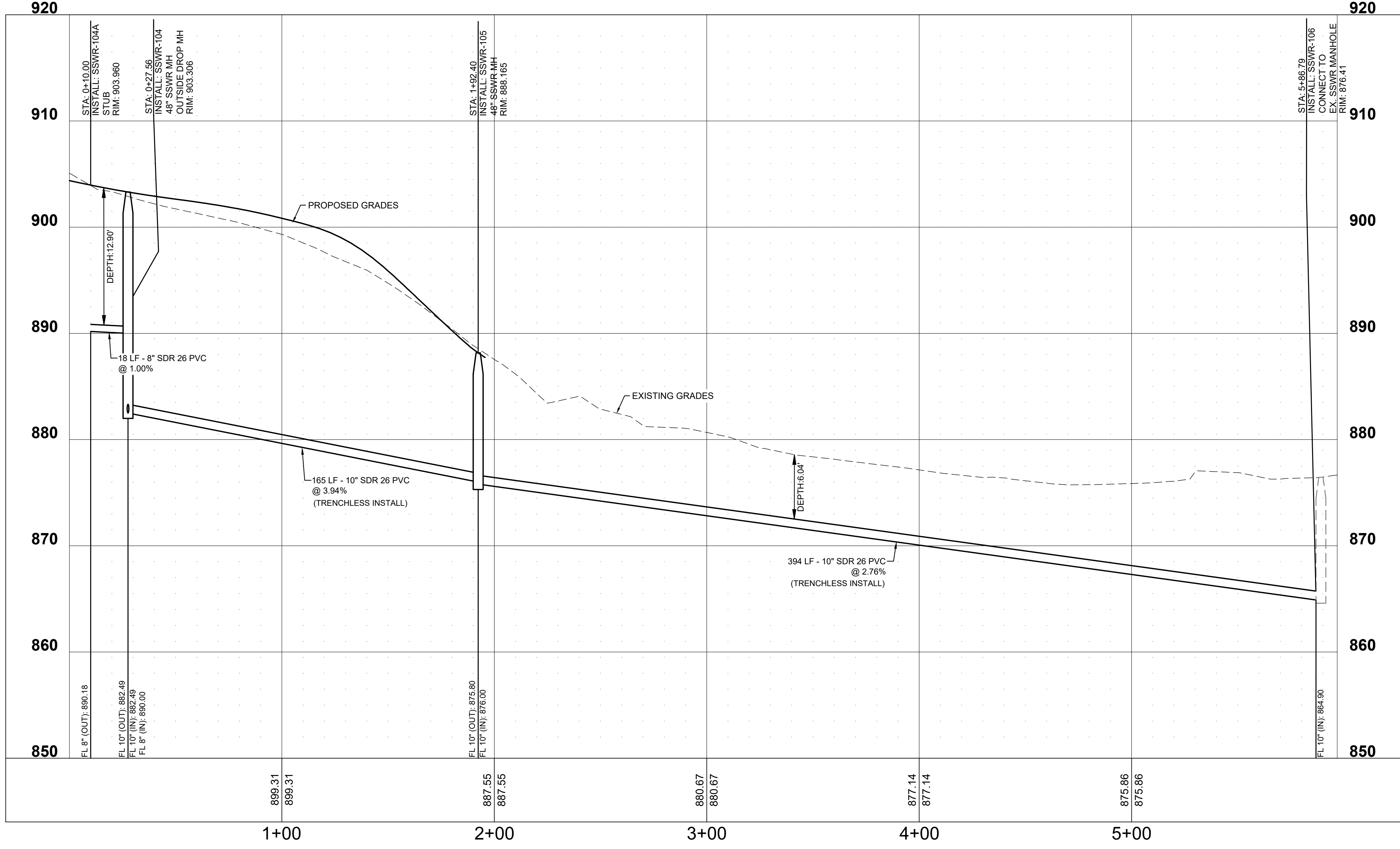
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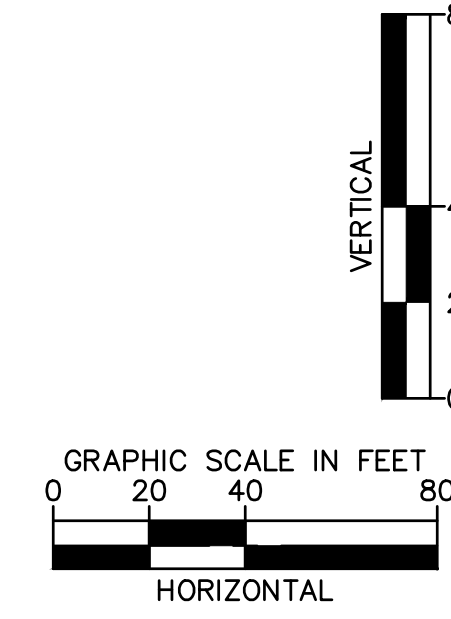
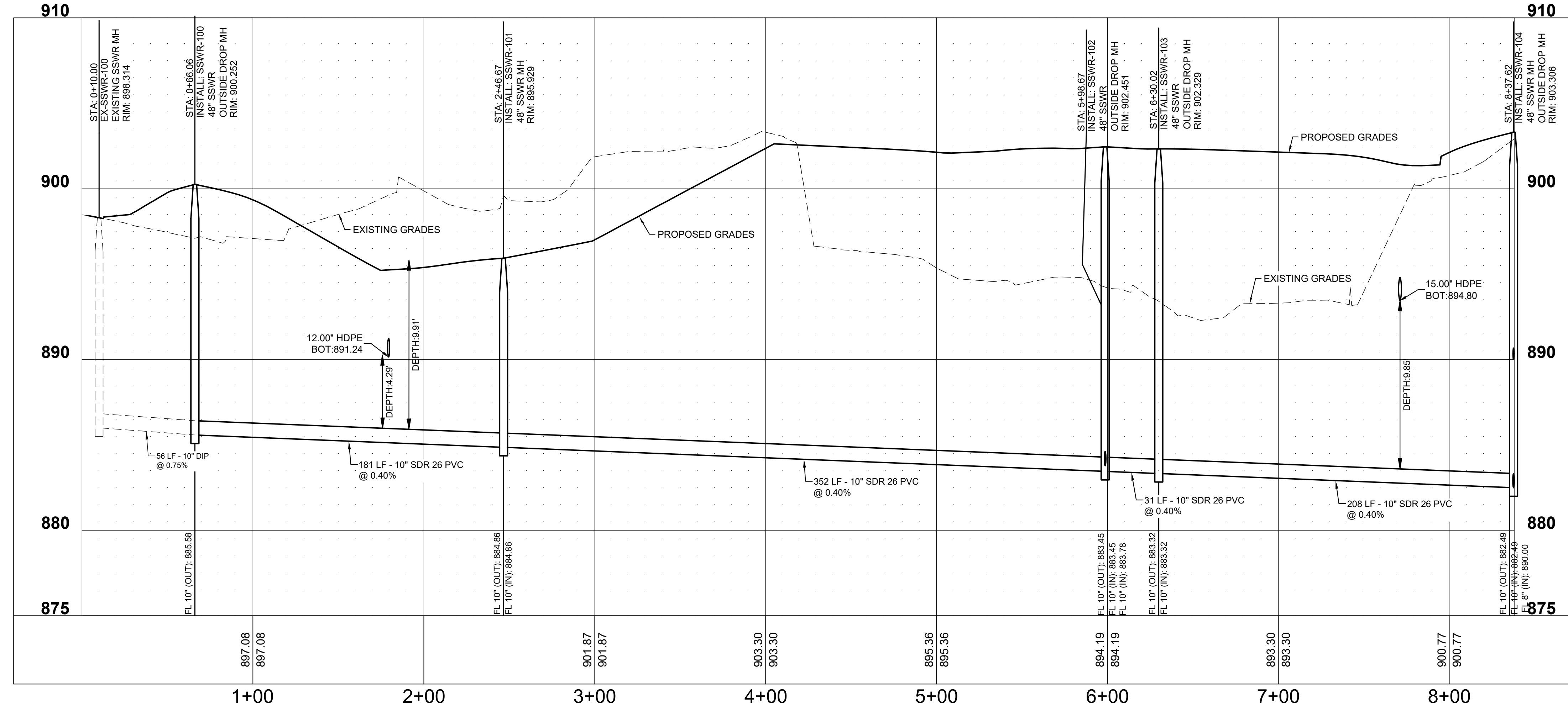
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		TEE
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		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN



SANITARY SEWER PROFILE



SANITARY SEWER PROFILE



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SANITARY SEWER PROFILE

C602

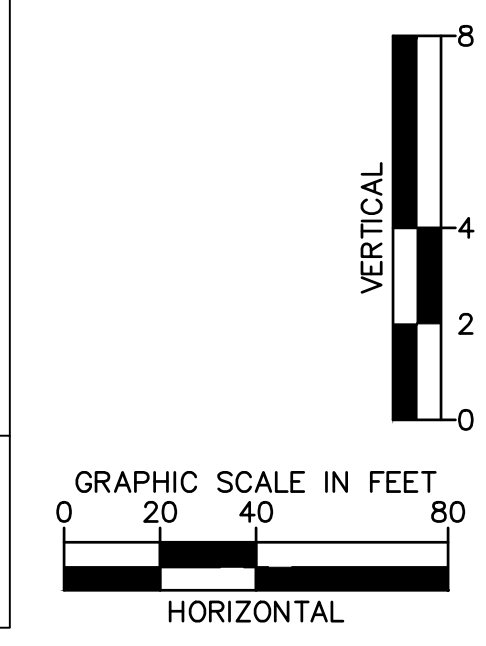
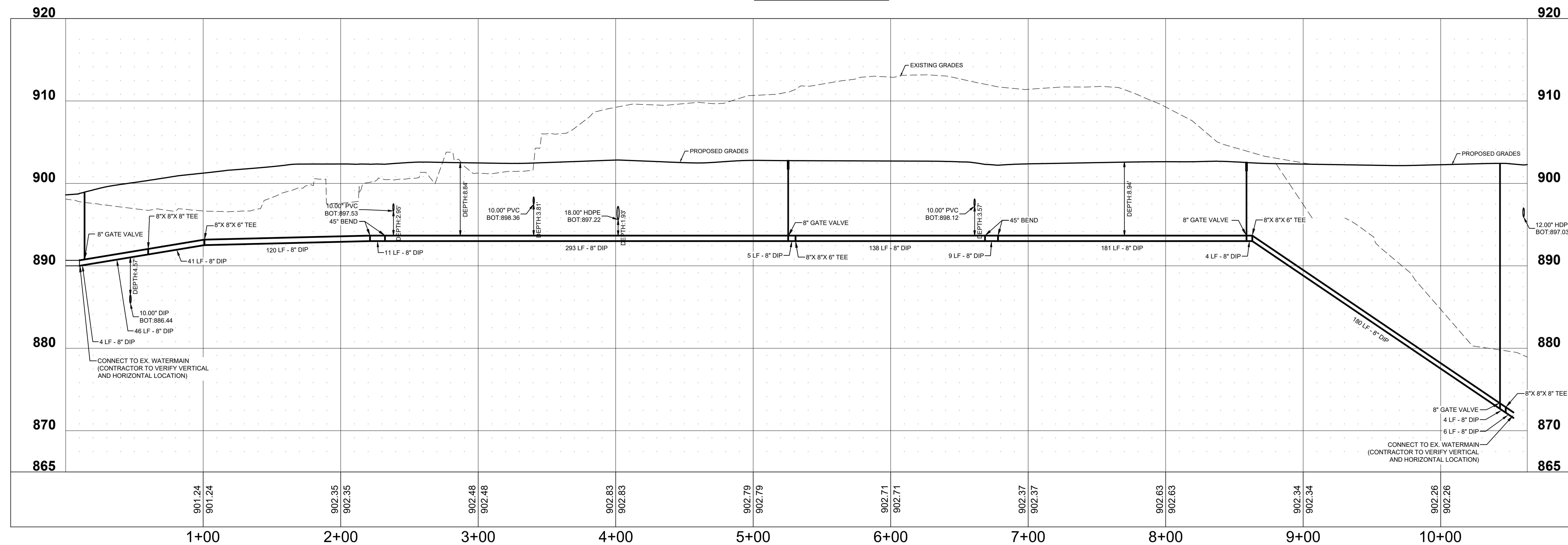
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*Alan L. Catchpool*  
ALAN L. CATCHPOOL  
DATE: 05/25/2022 LIC. NO. 47969

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WATER MAIN PROFILE



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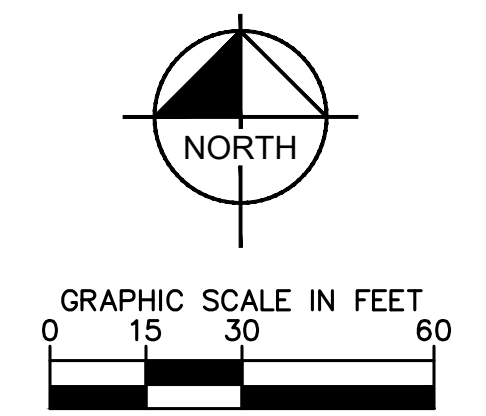
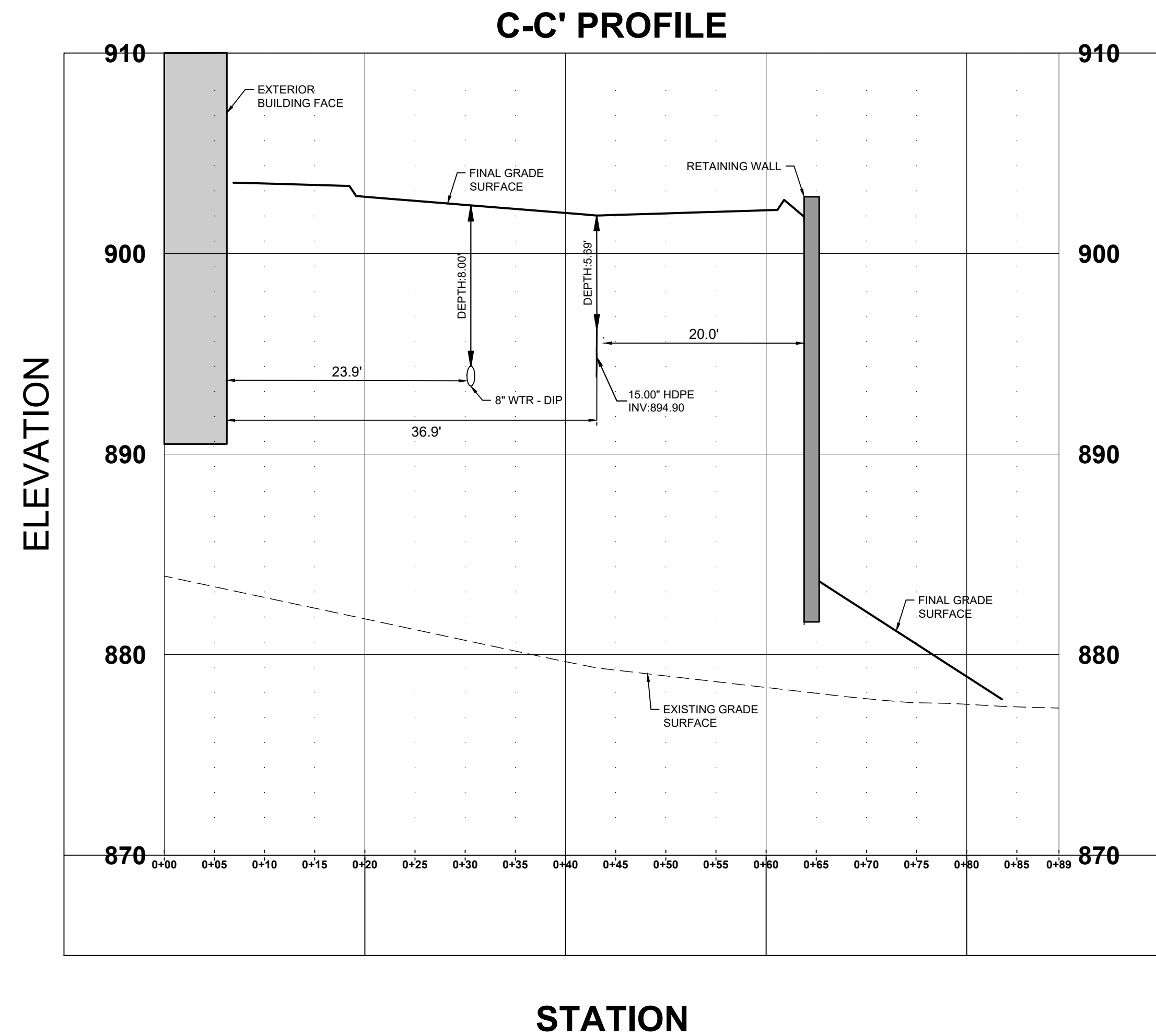
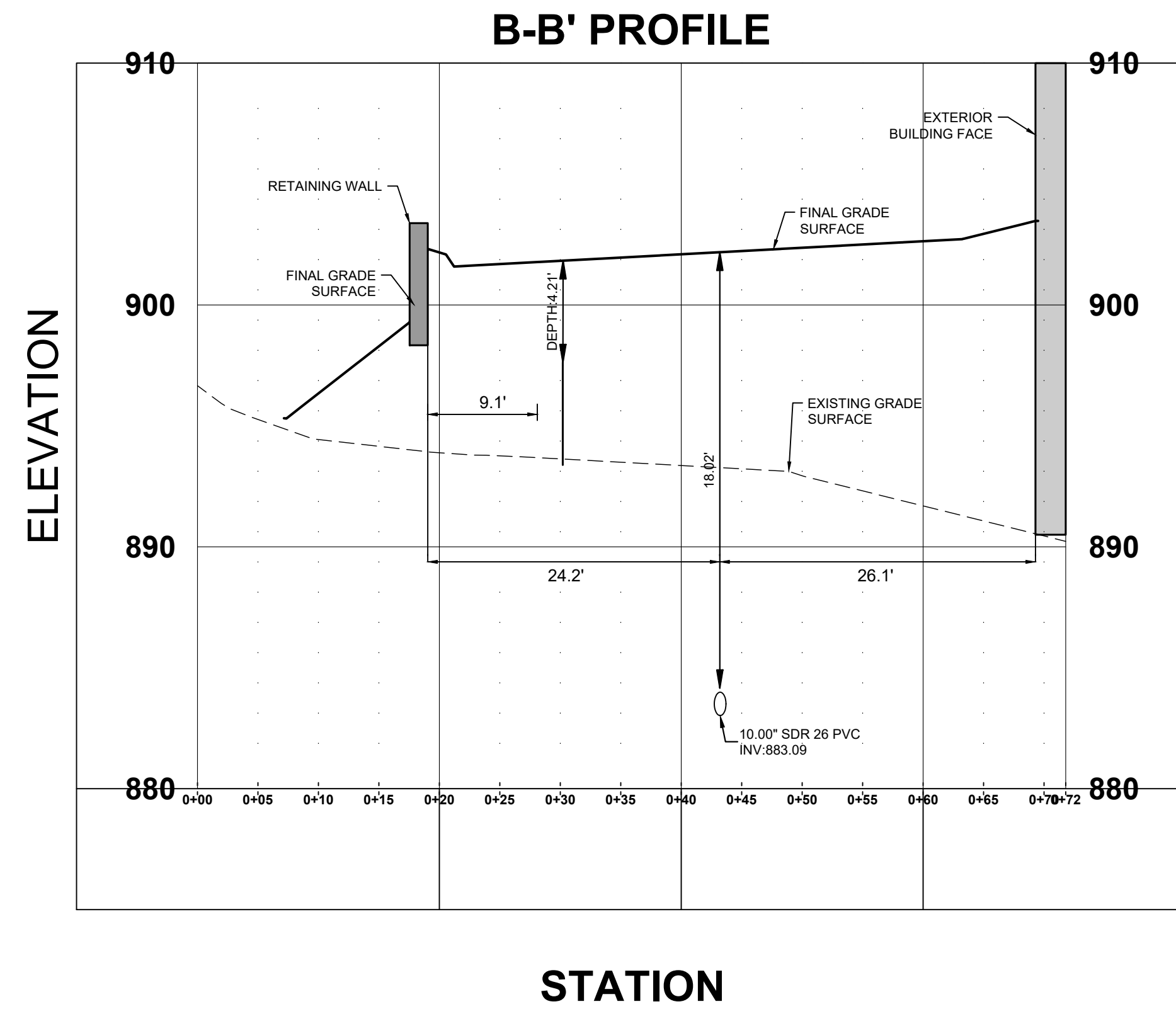
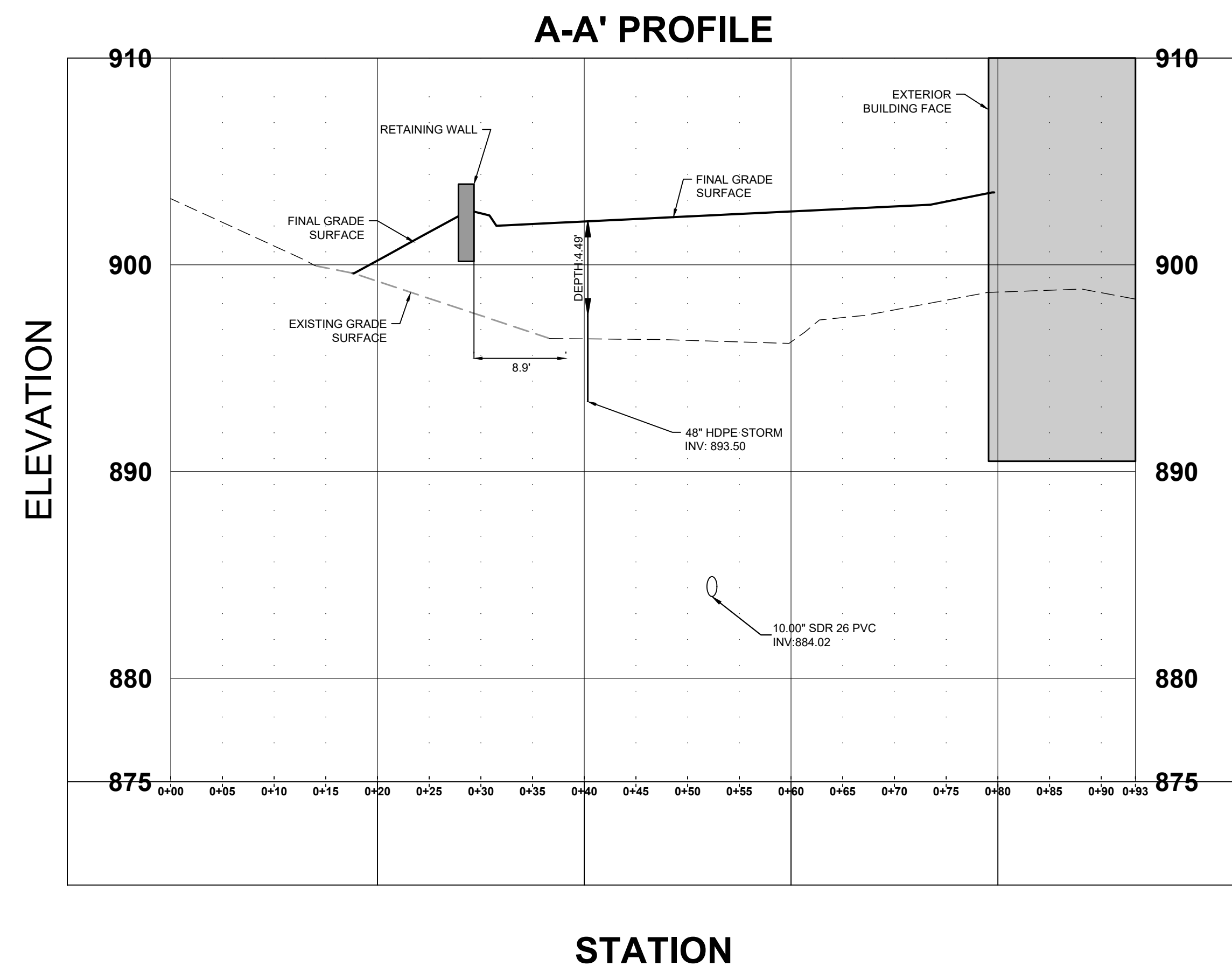
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C603

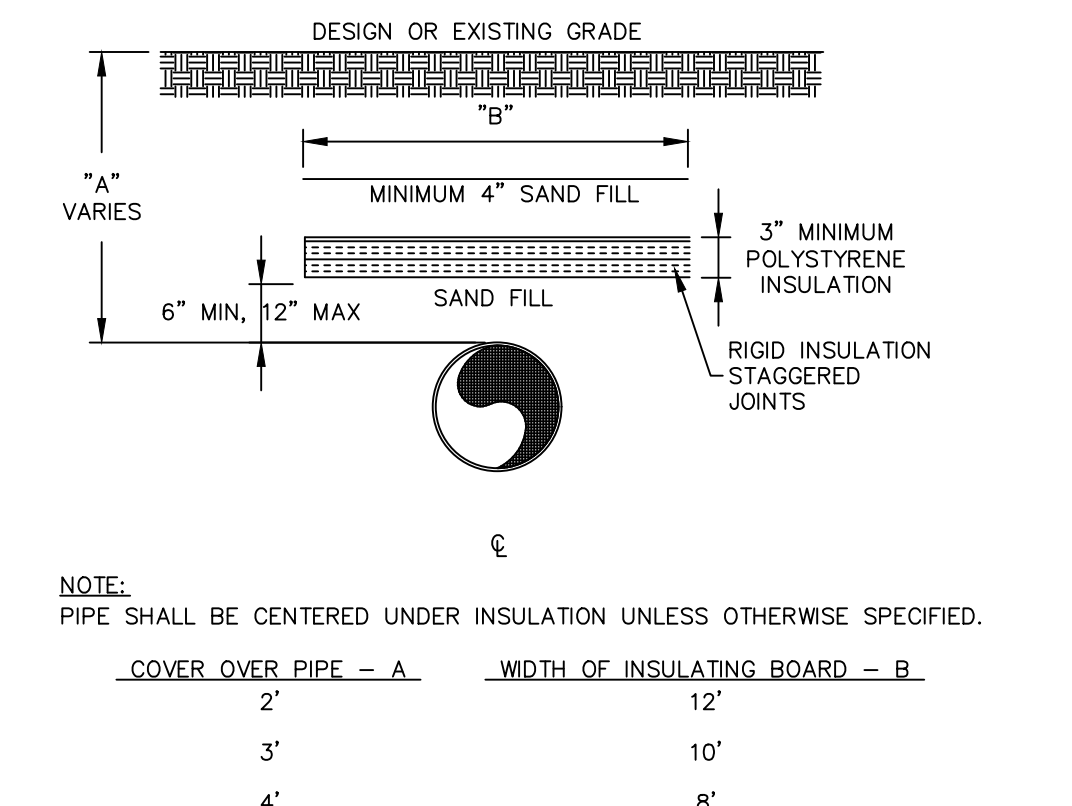
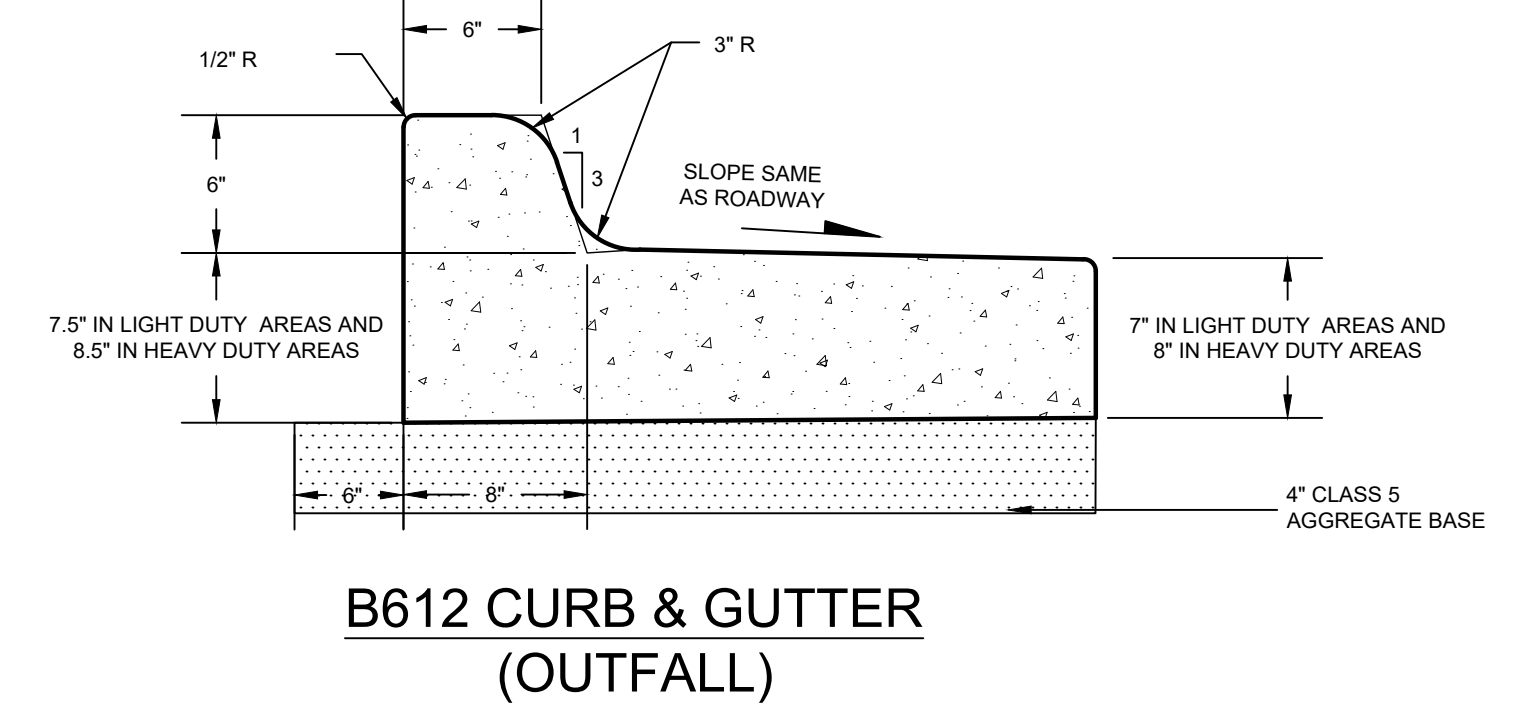
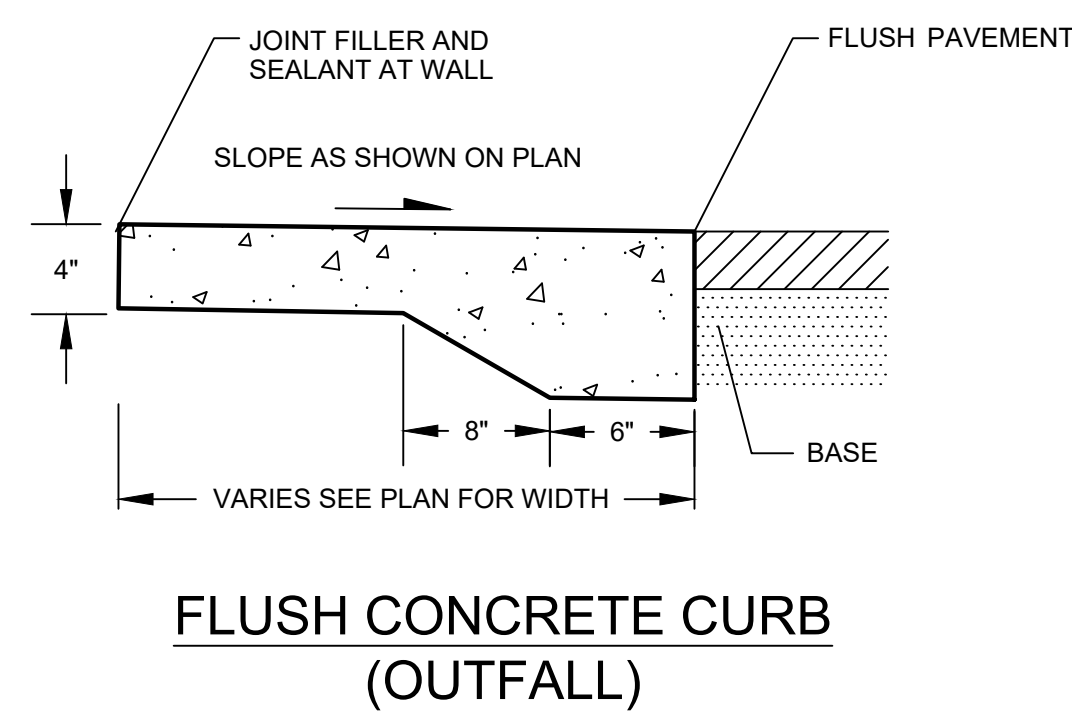
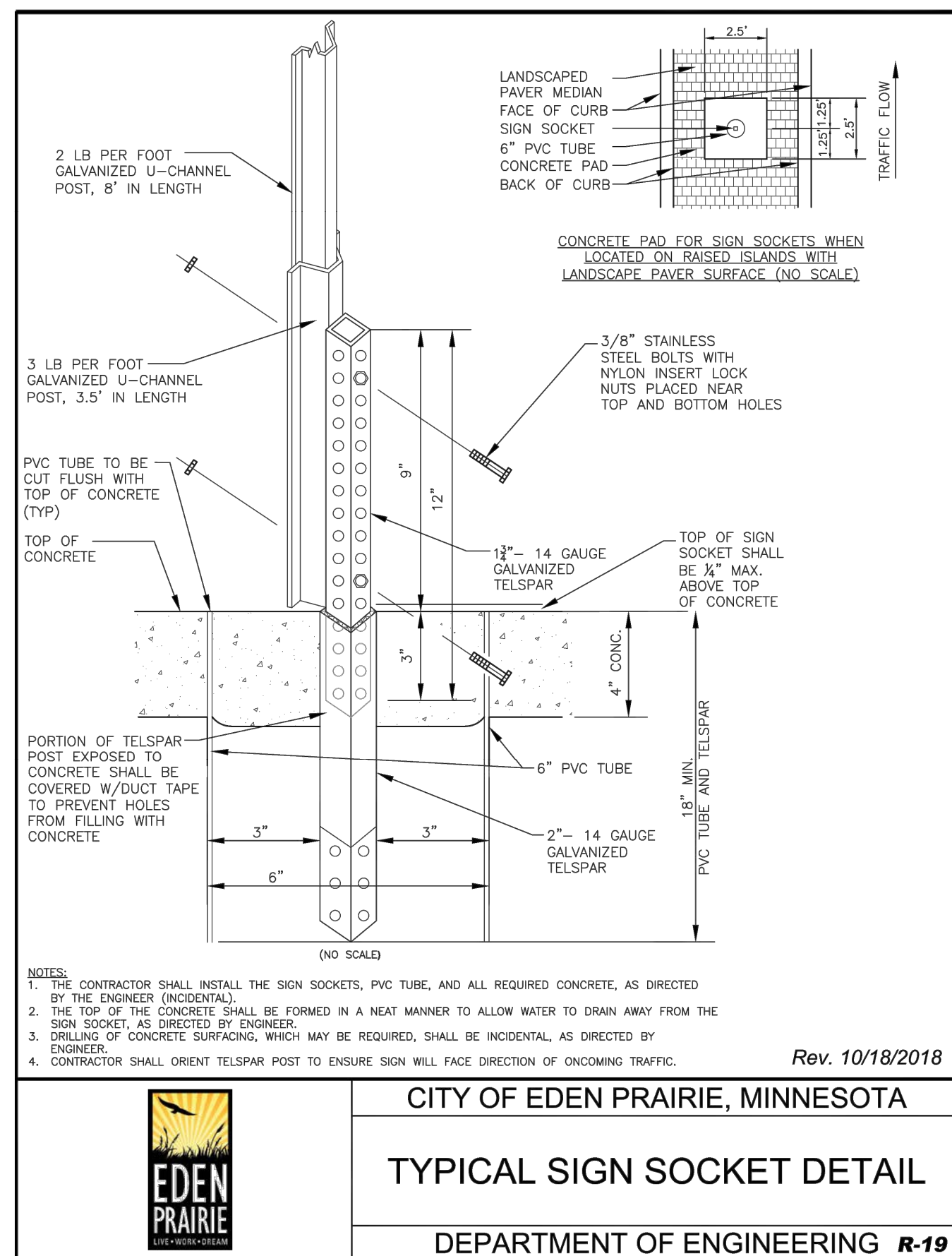
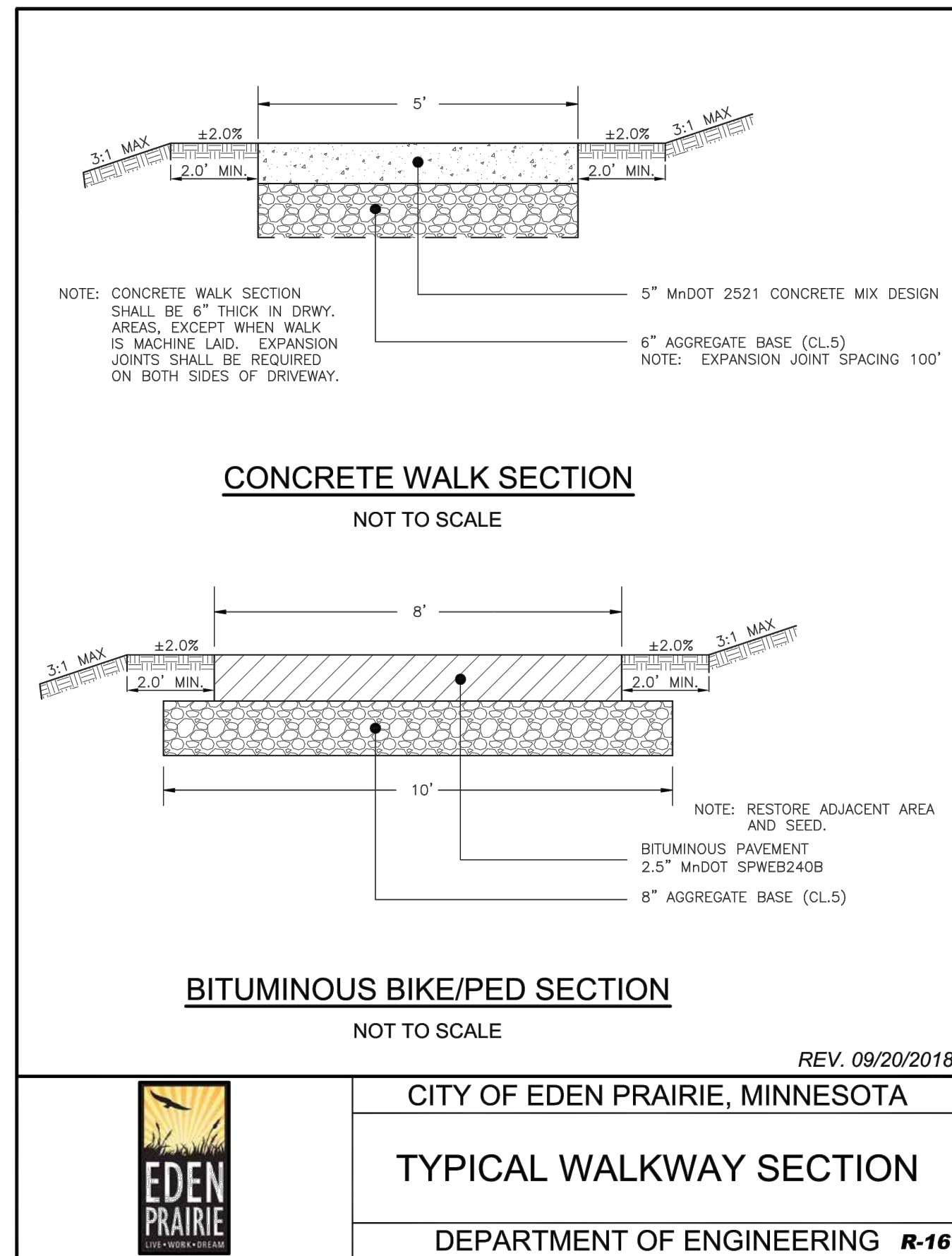
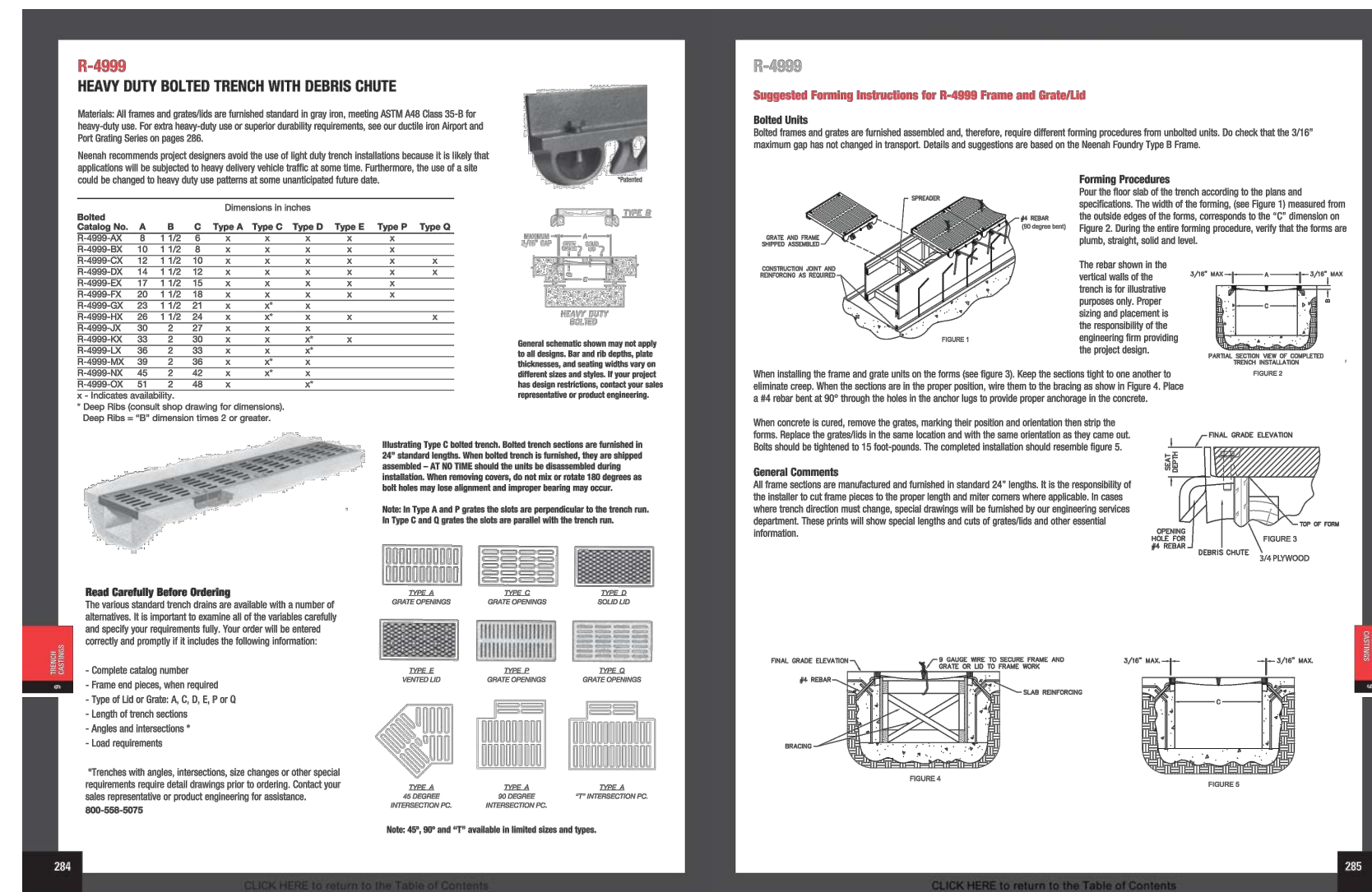
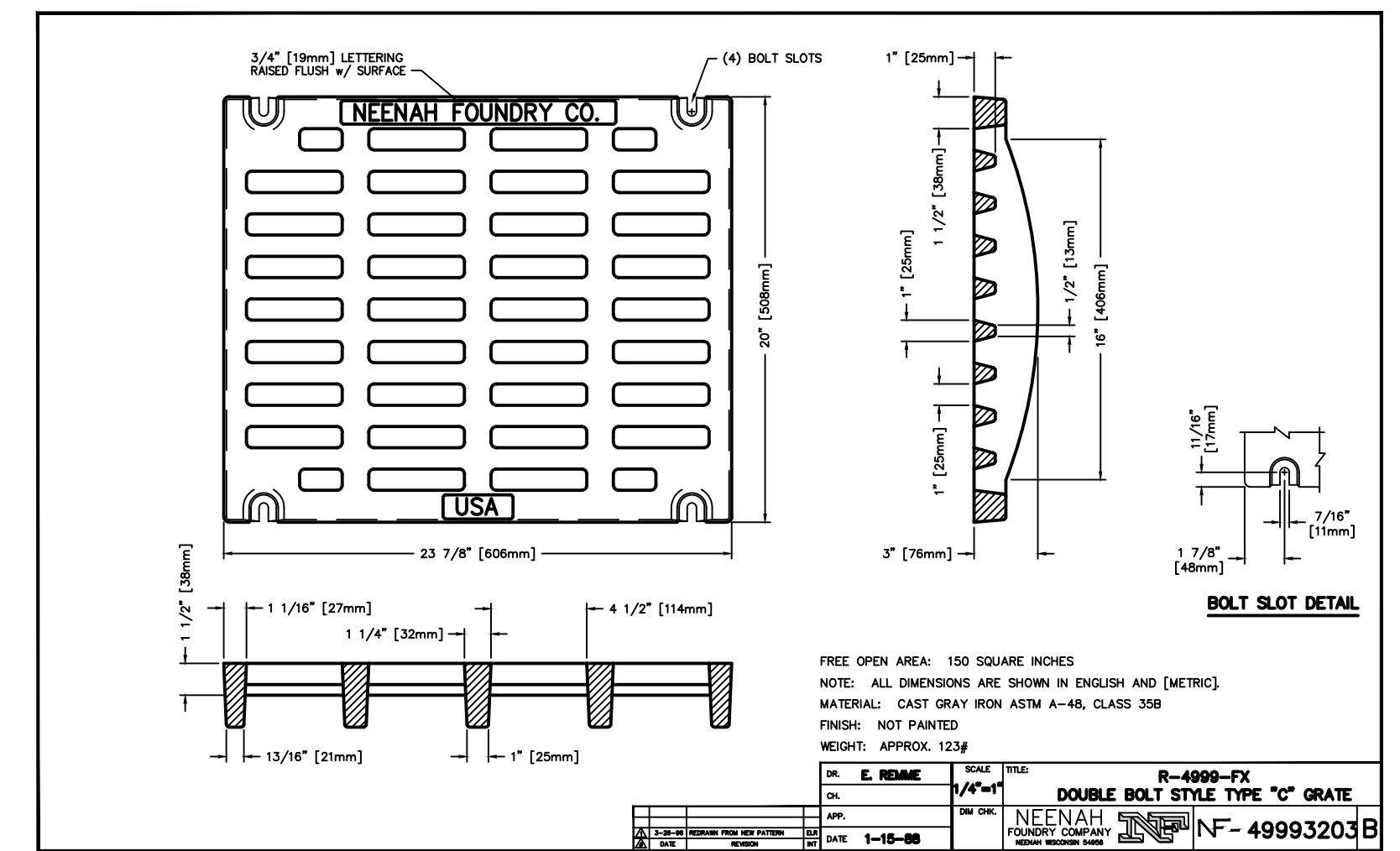
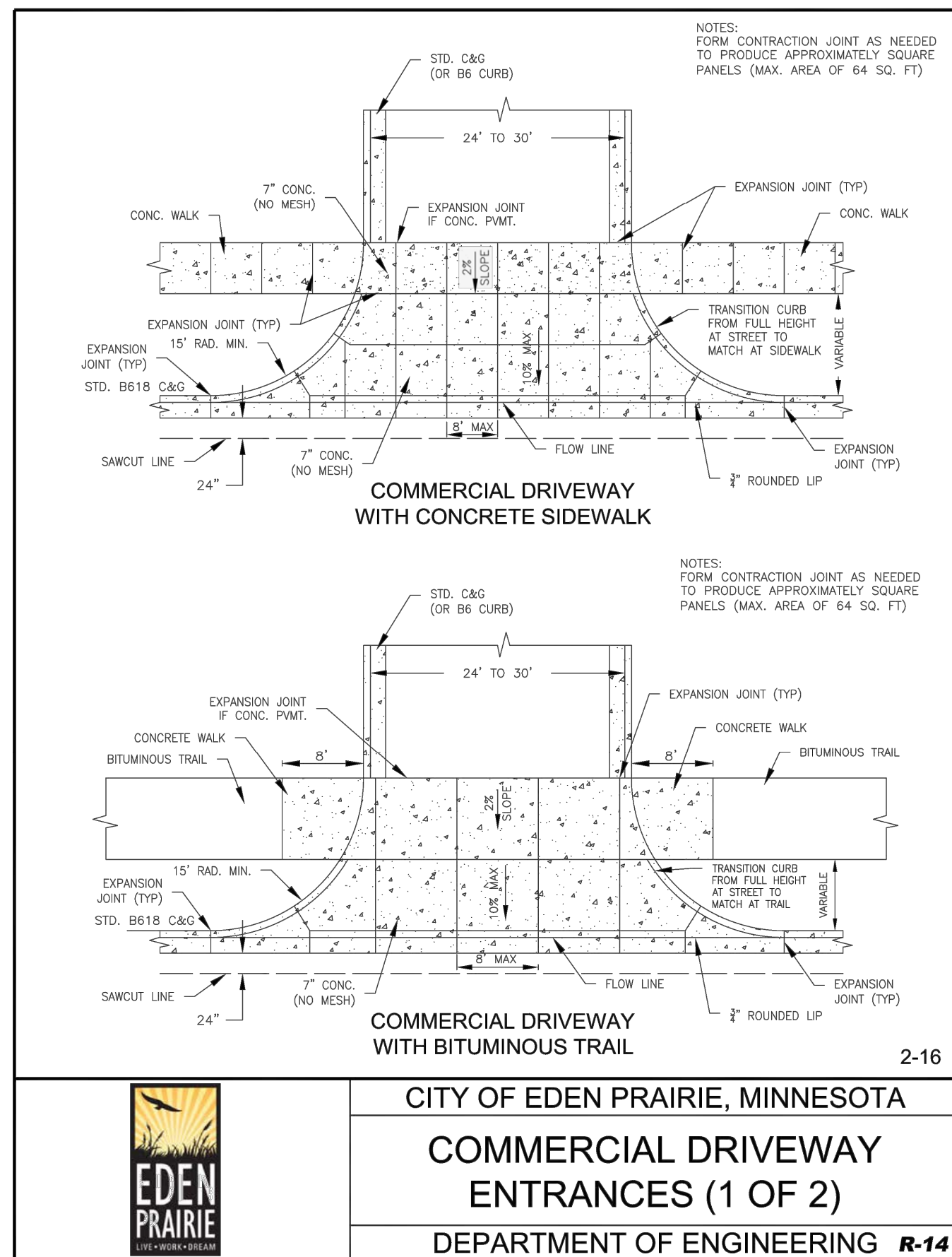
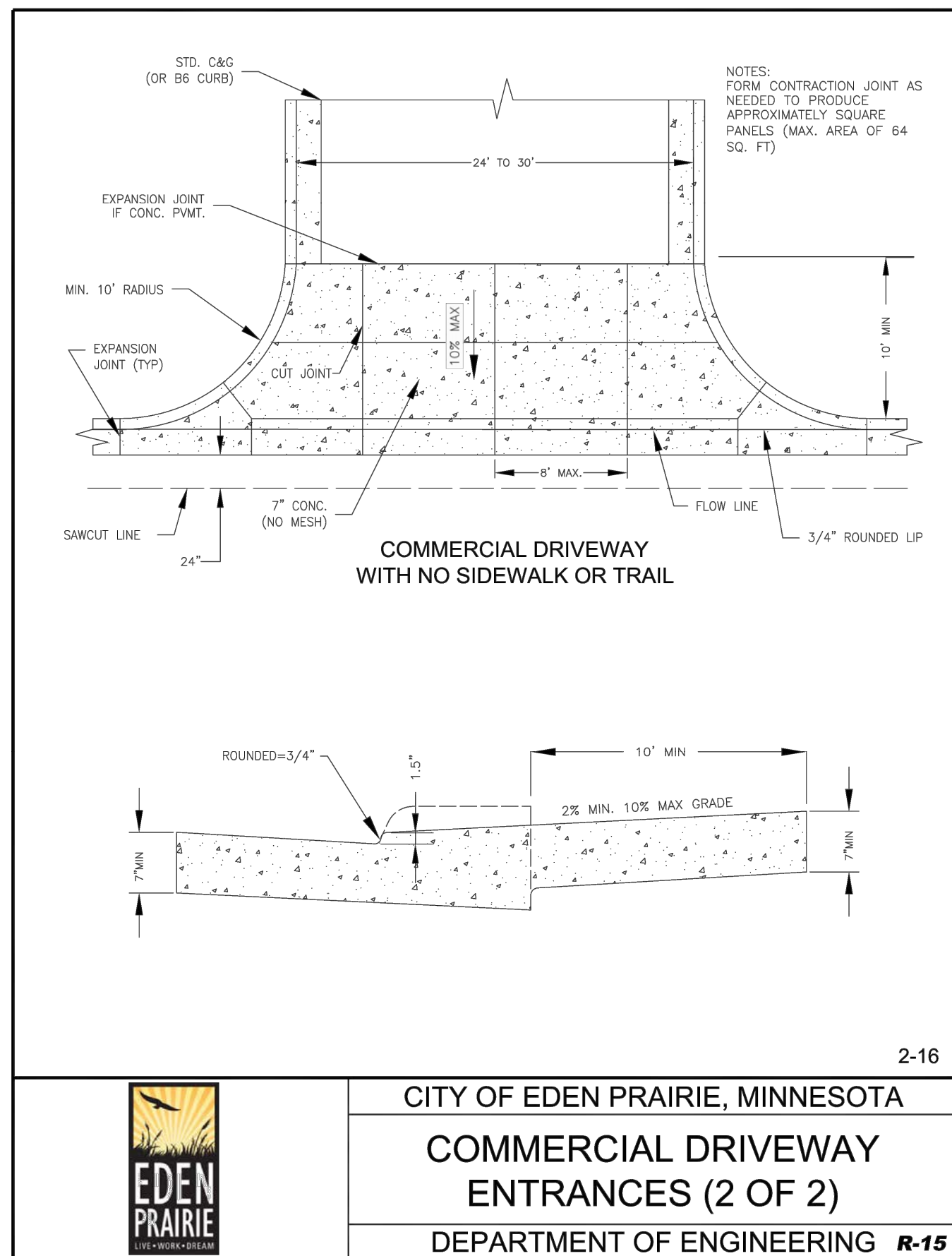
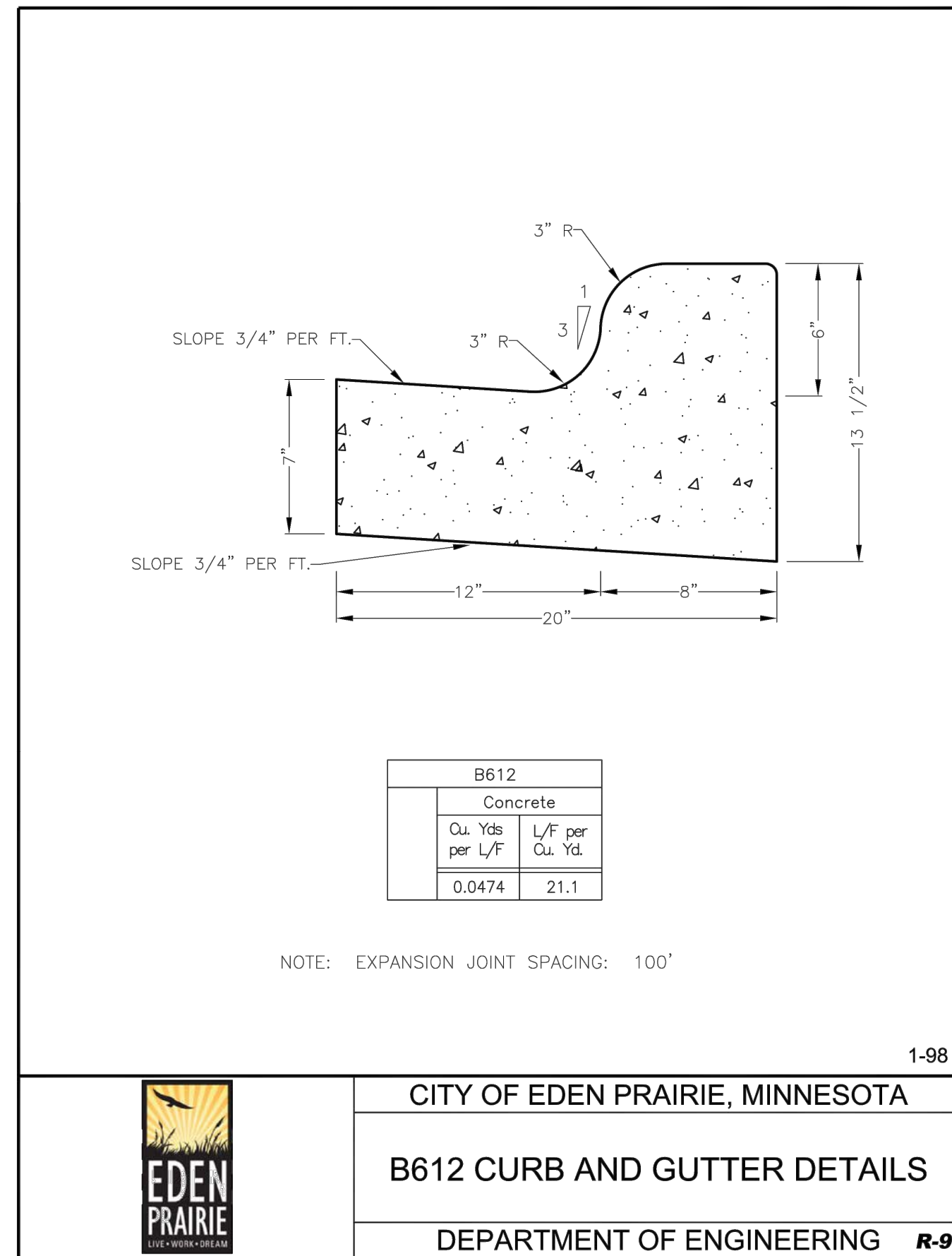


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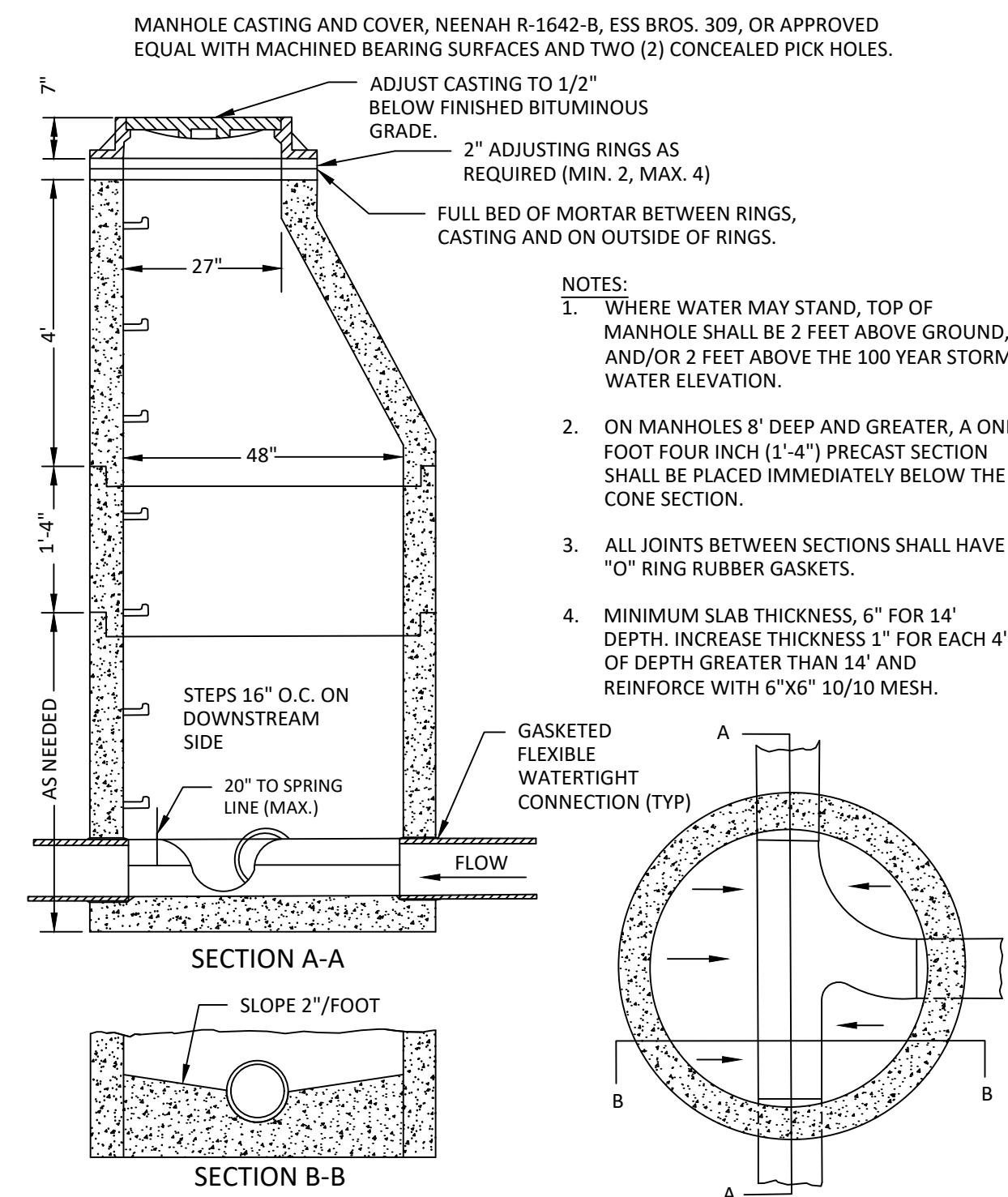


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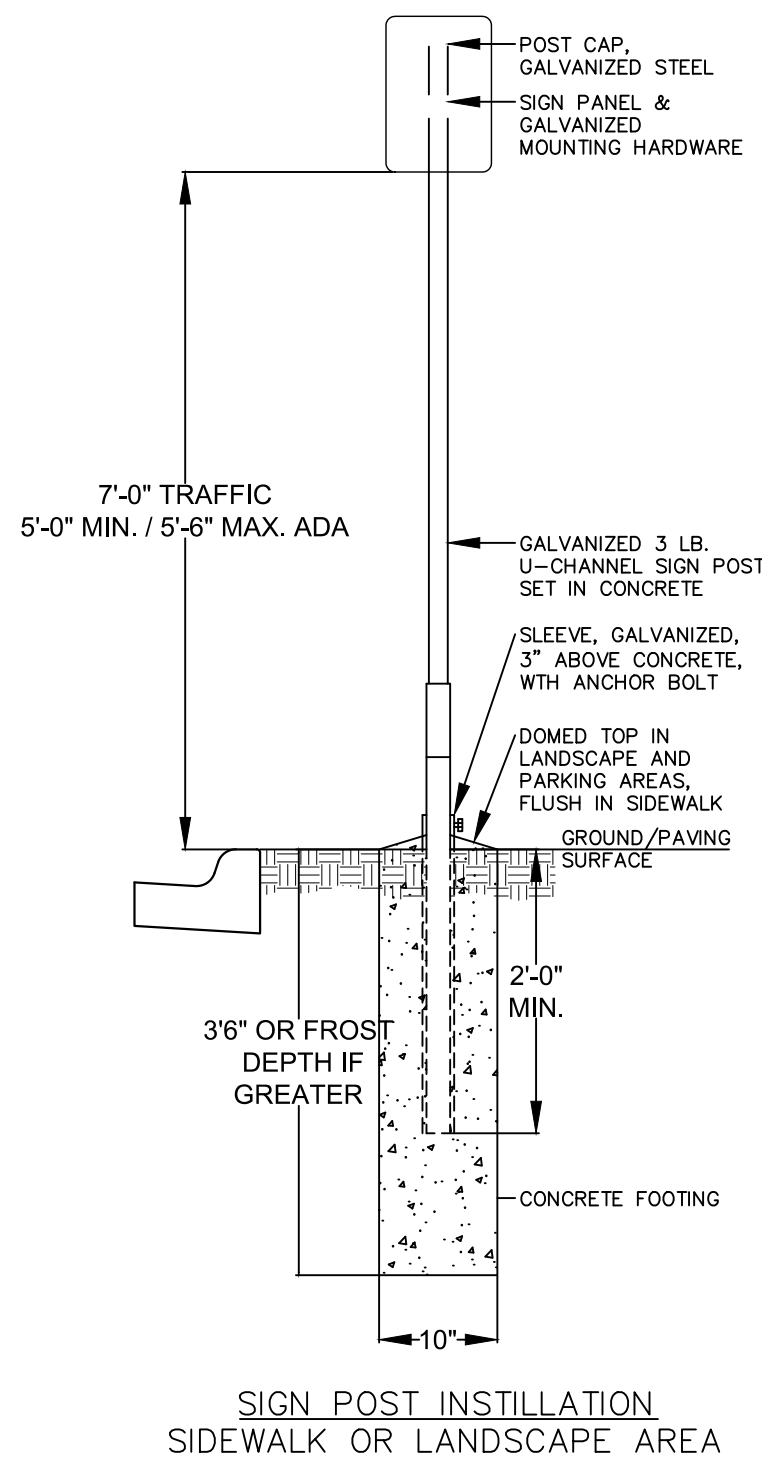


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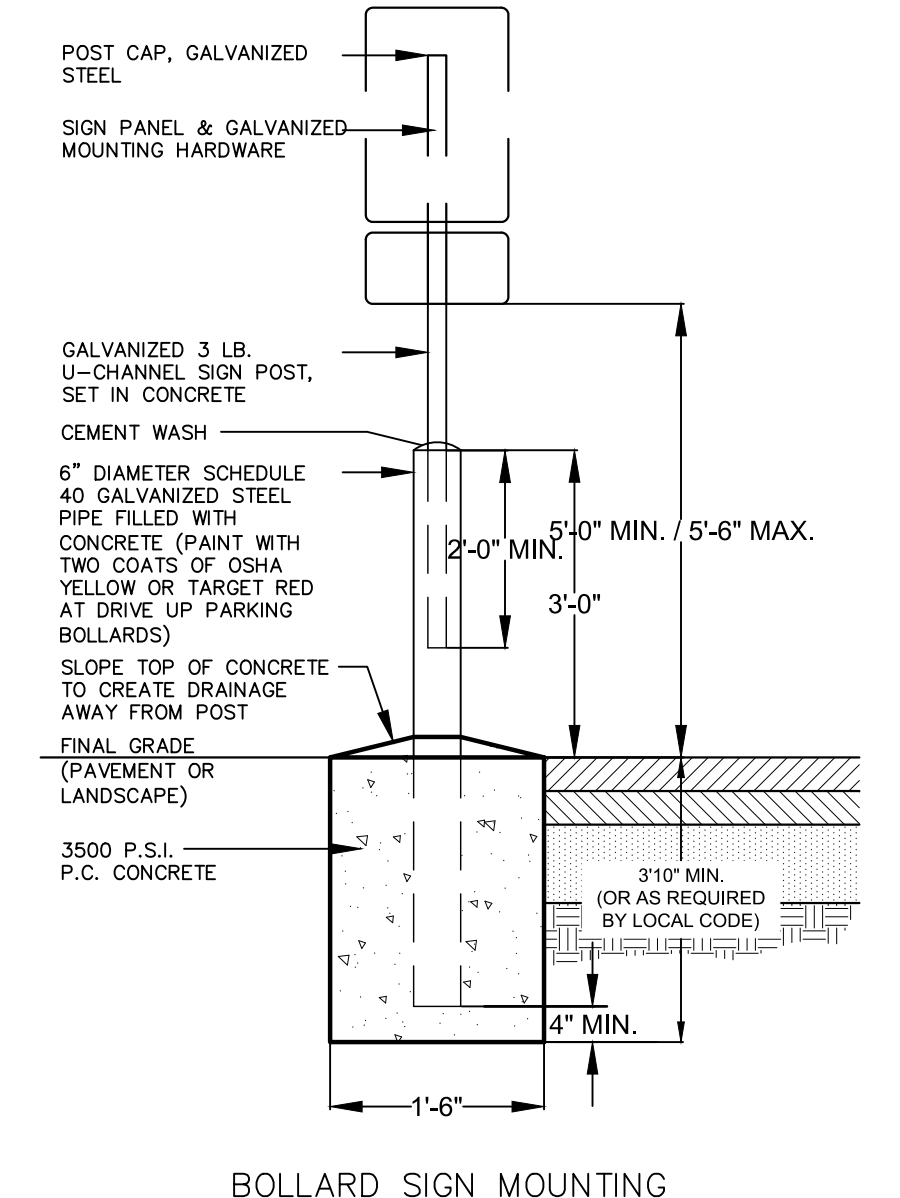
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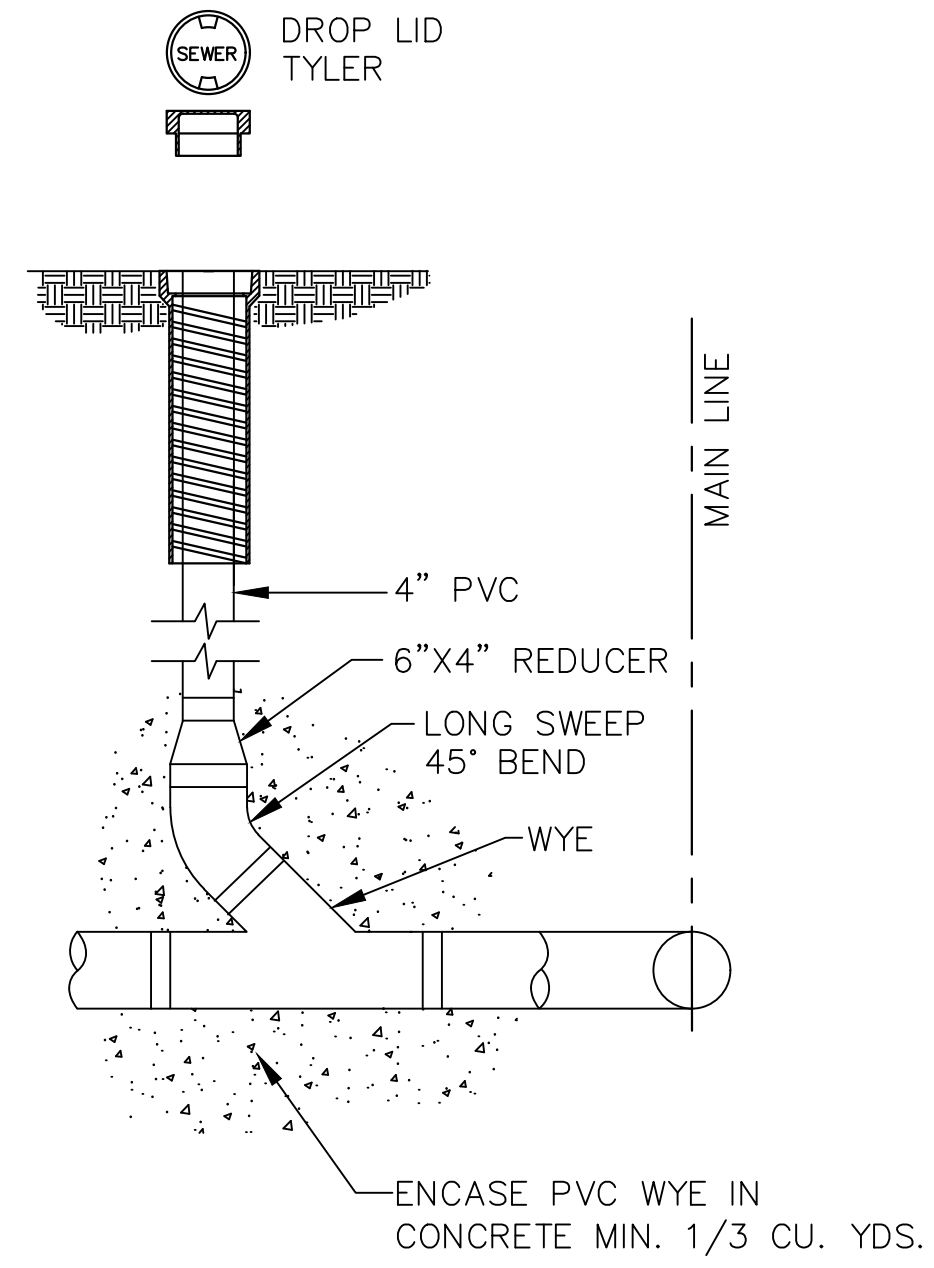
**01** STANDARD SANITARY SEWER MANHOLE  
N.T.S.



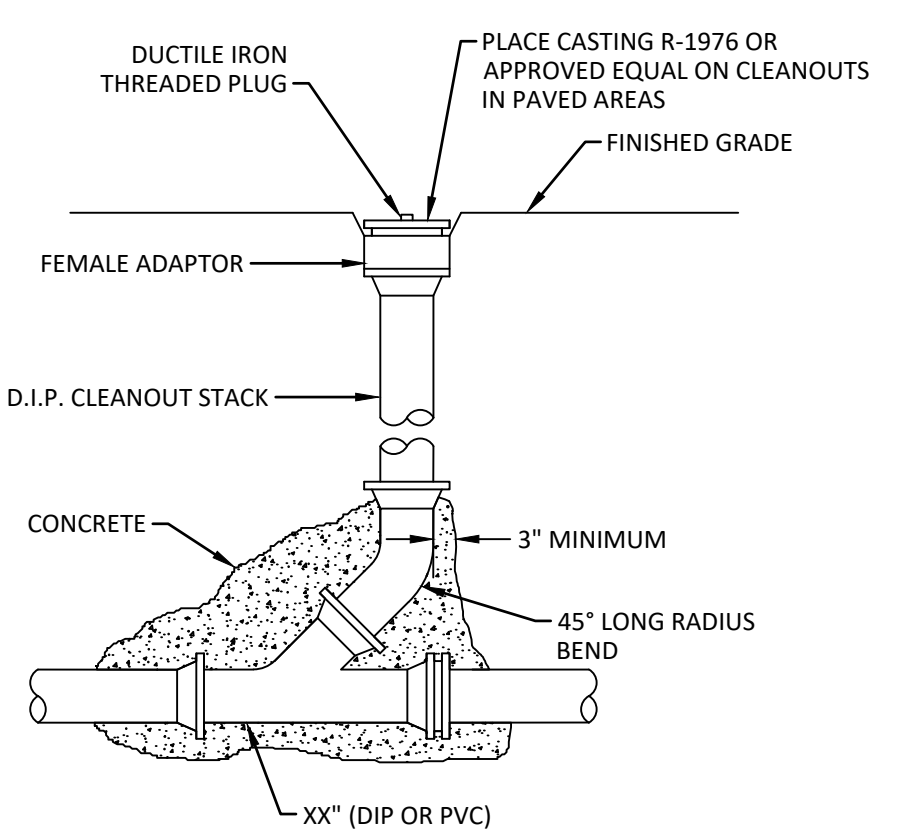
SIGN POST INSTALLATION  
SIDEWALK OR LANDSCAPE AREA



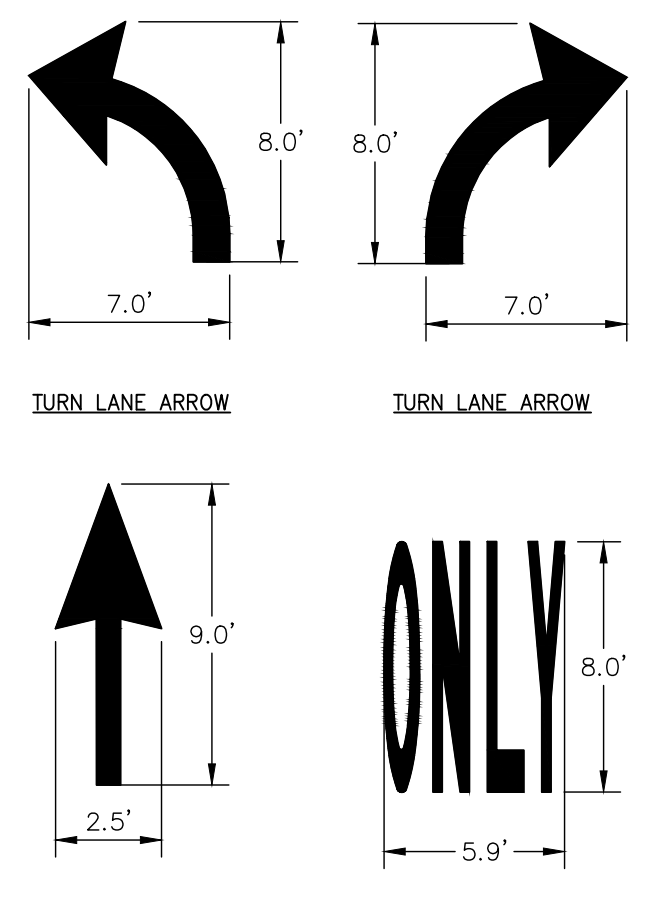
BOLLARD SIGN MOUNTING



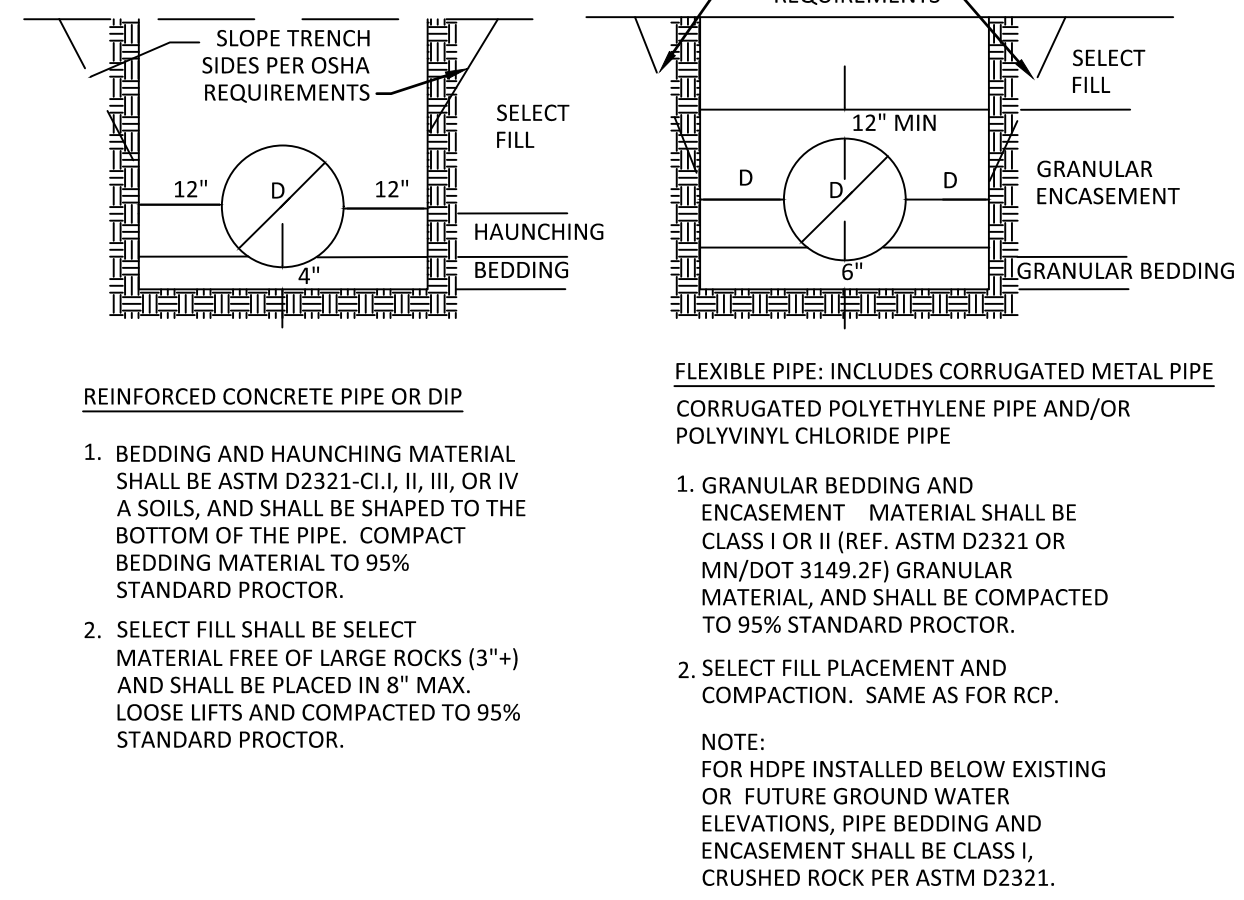
SANITARY SEWER CLEANOUT  
ENCASE PVC WYE IN CONCRETE MIN. 1/3 CU. YDS.



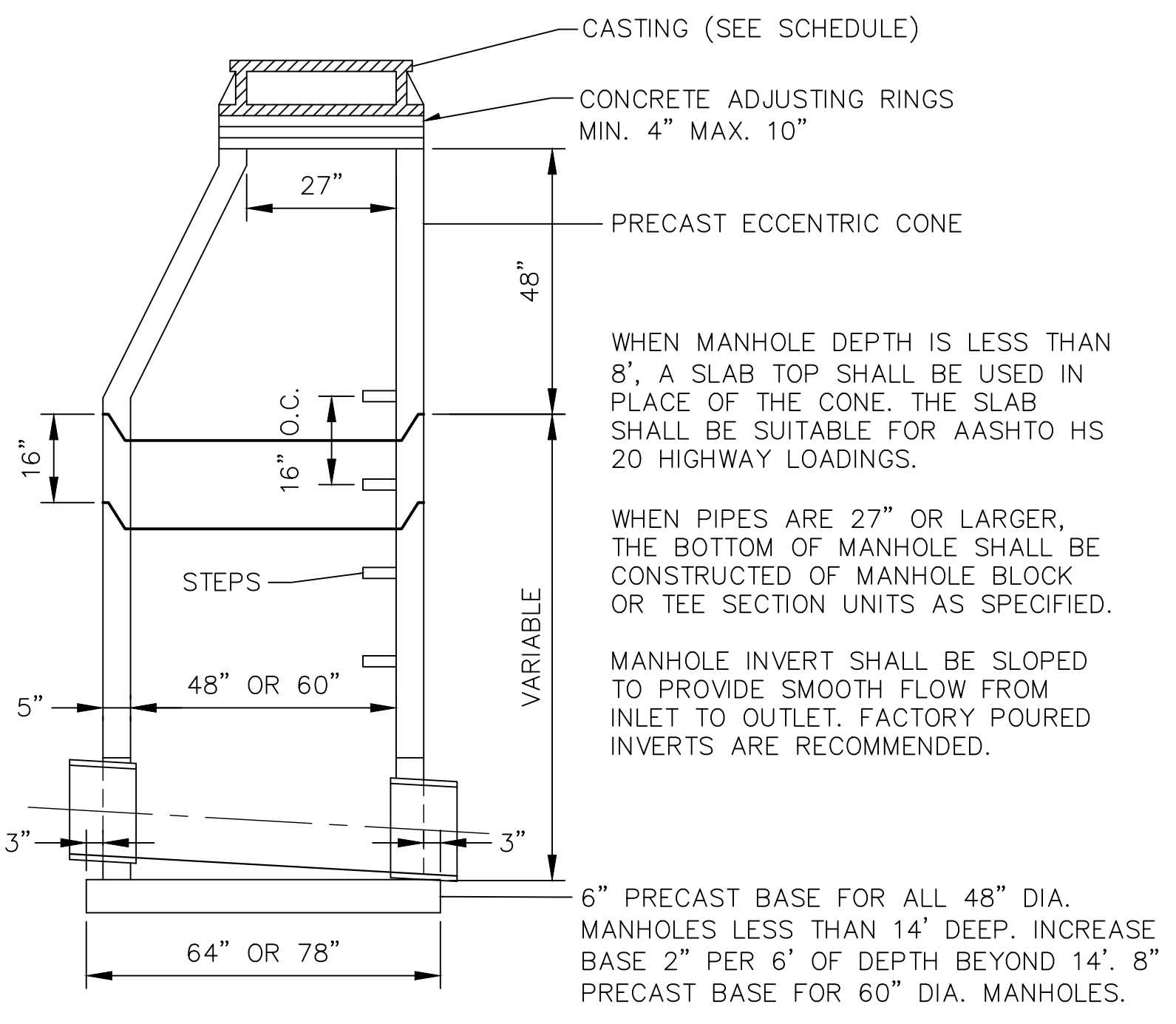
**06** TYPICAL CLEANOUT  
N.T.S.



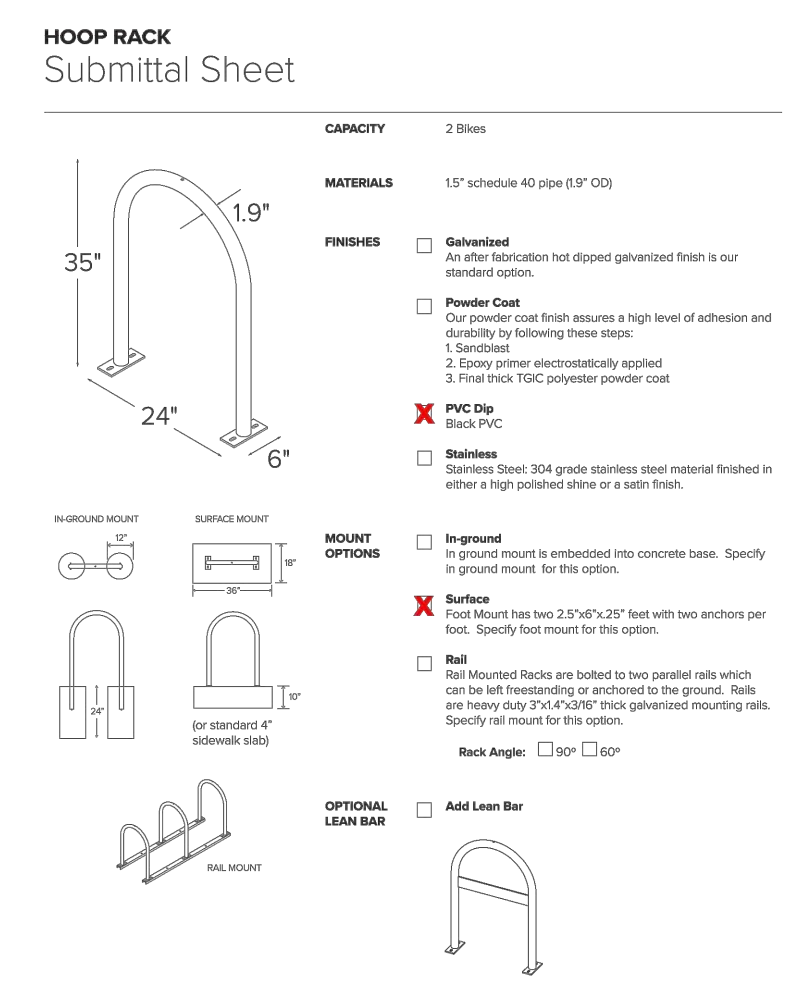
TRAFFIC FLOW ARROW  
N.T.S.



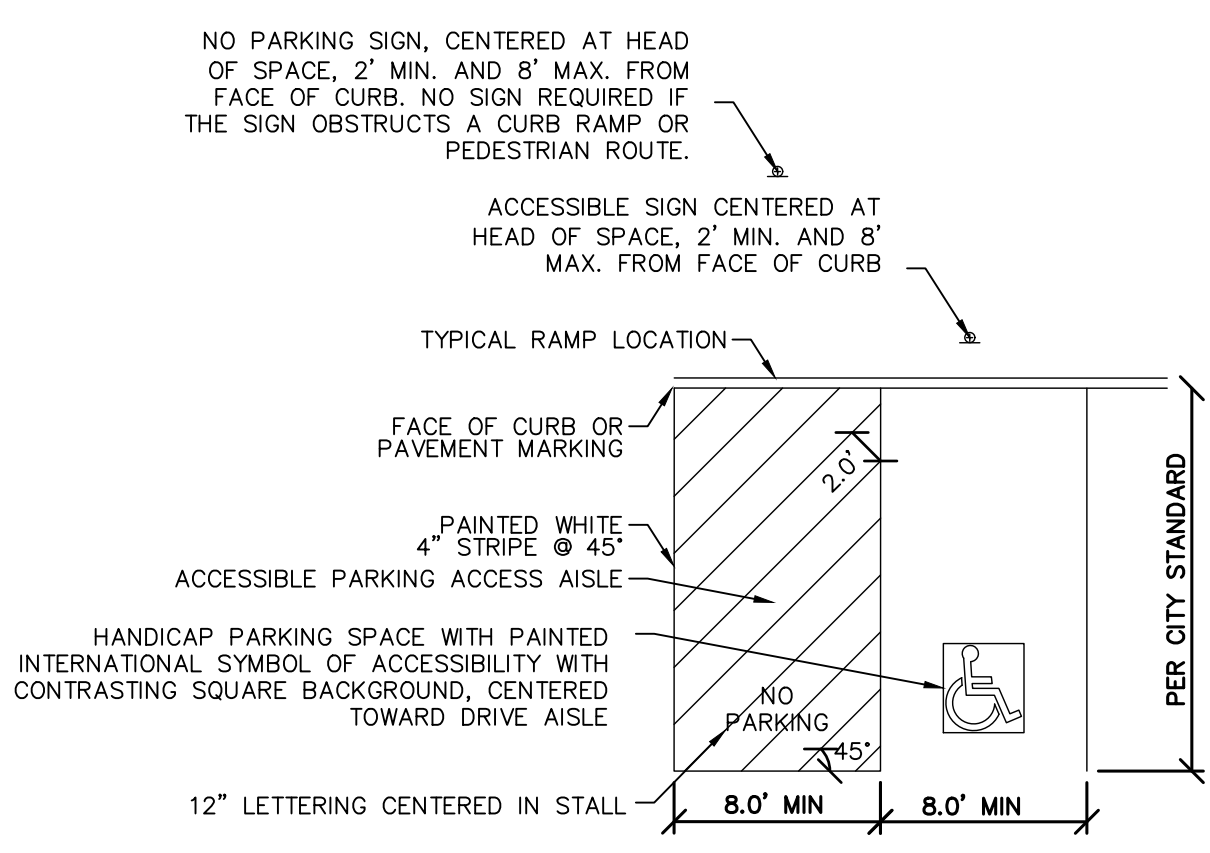
WATERMAIN BEDDING



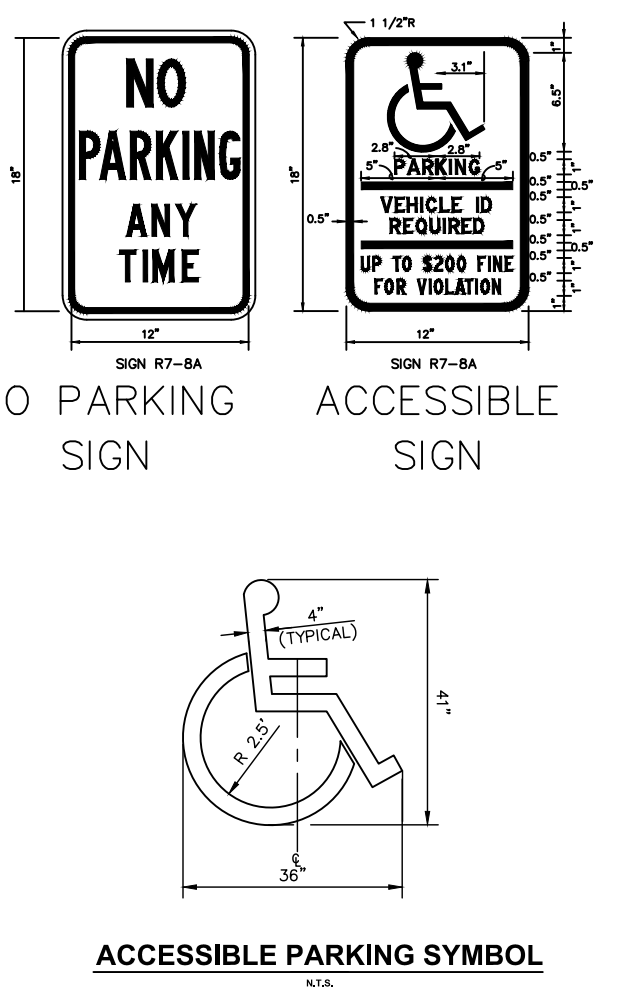
CATCH BASIN/STORM MANHOLE



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ACCESSIBLE PARKING LOGO, STRIPING, & SIGNAGE  
NOT TO SCALE



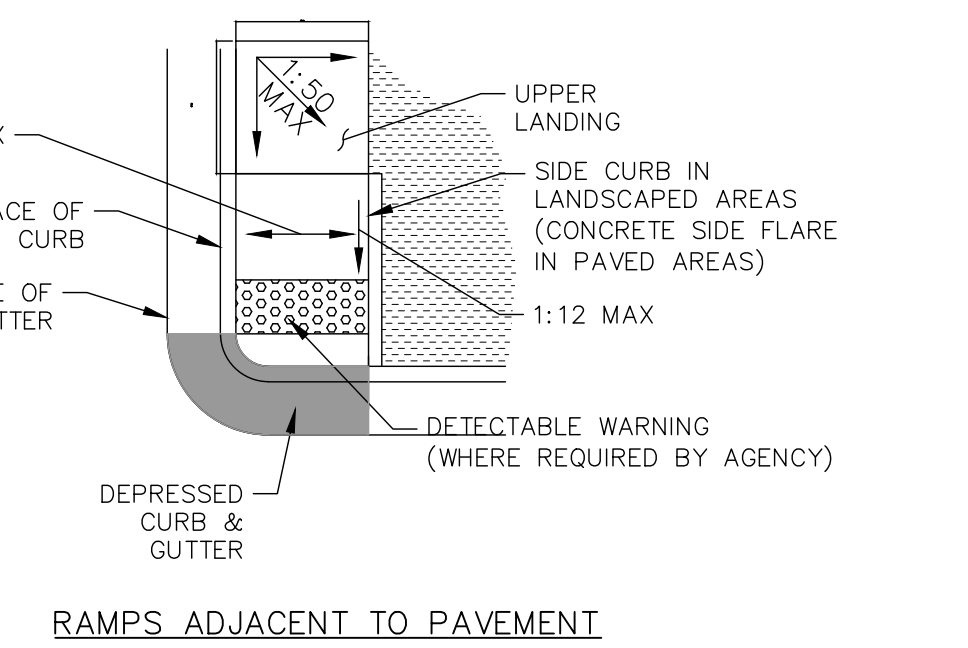
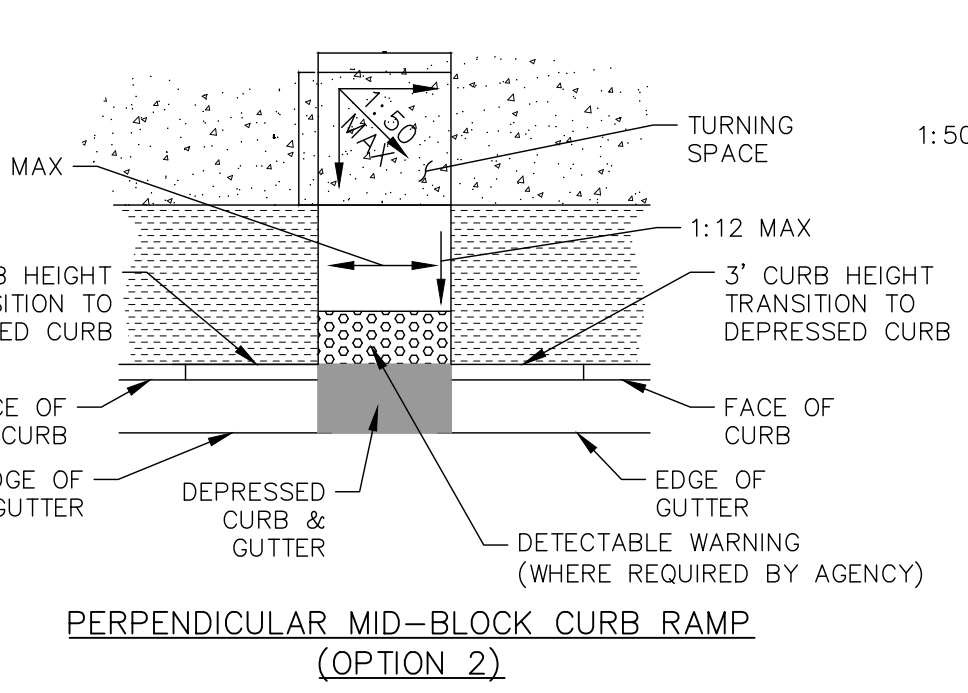
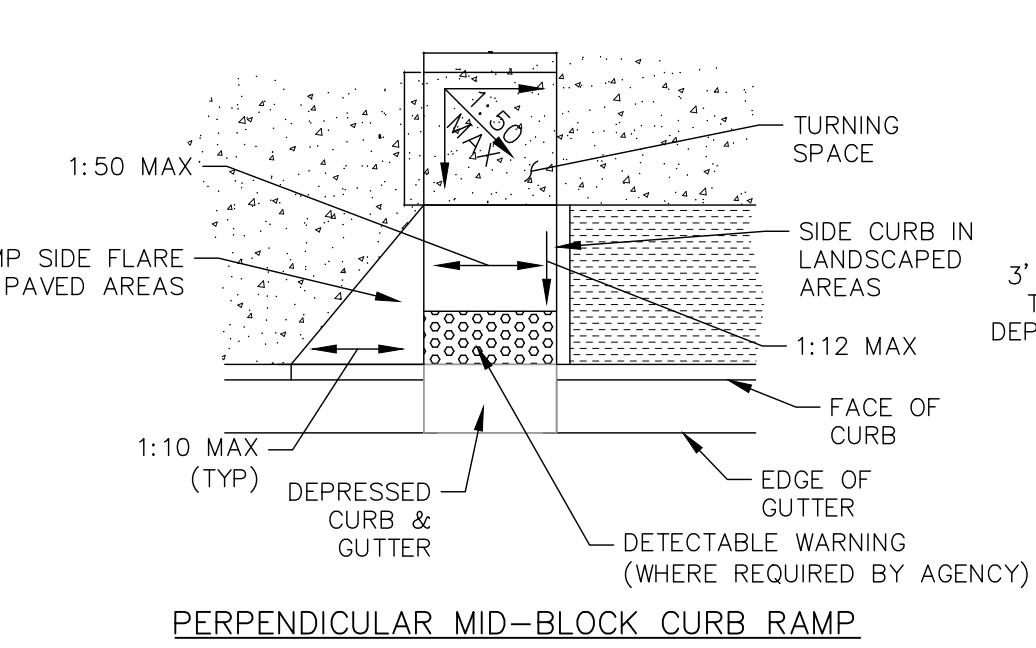
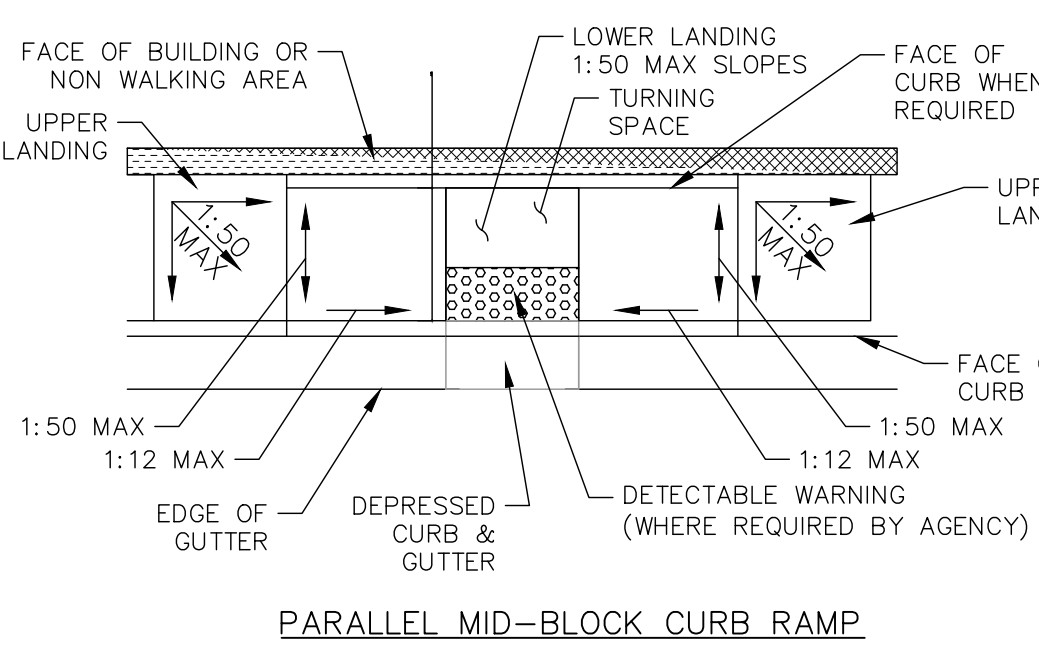
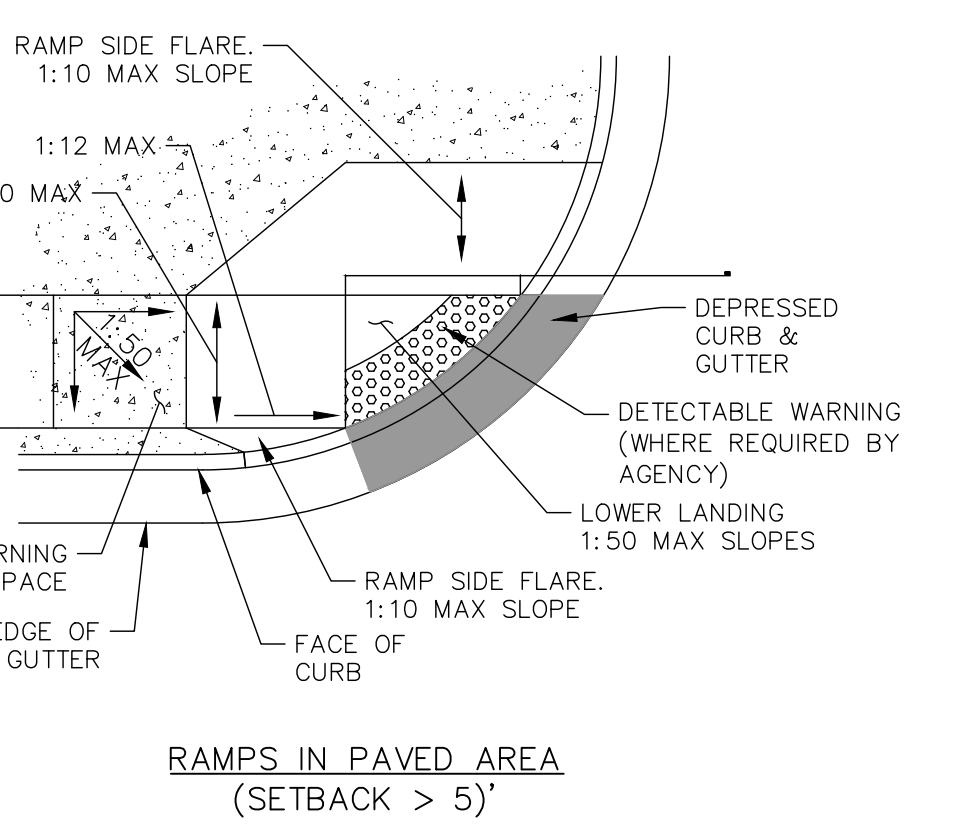
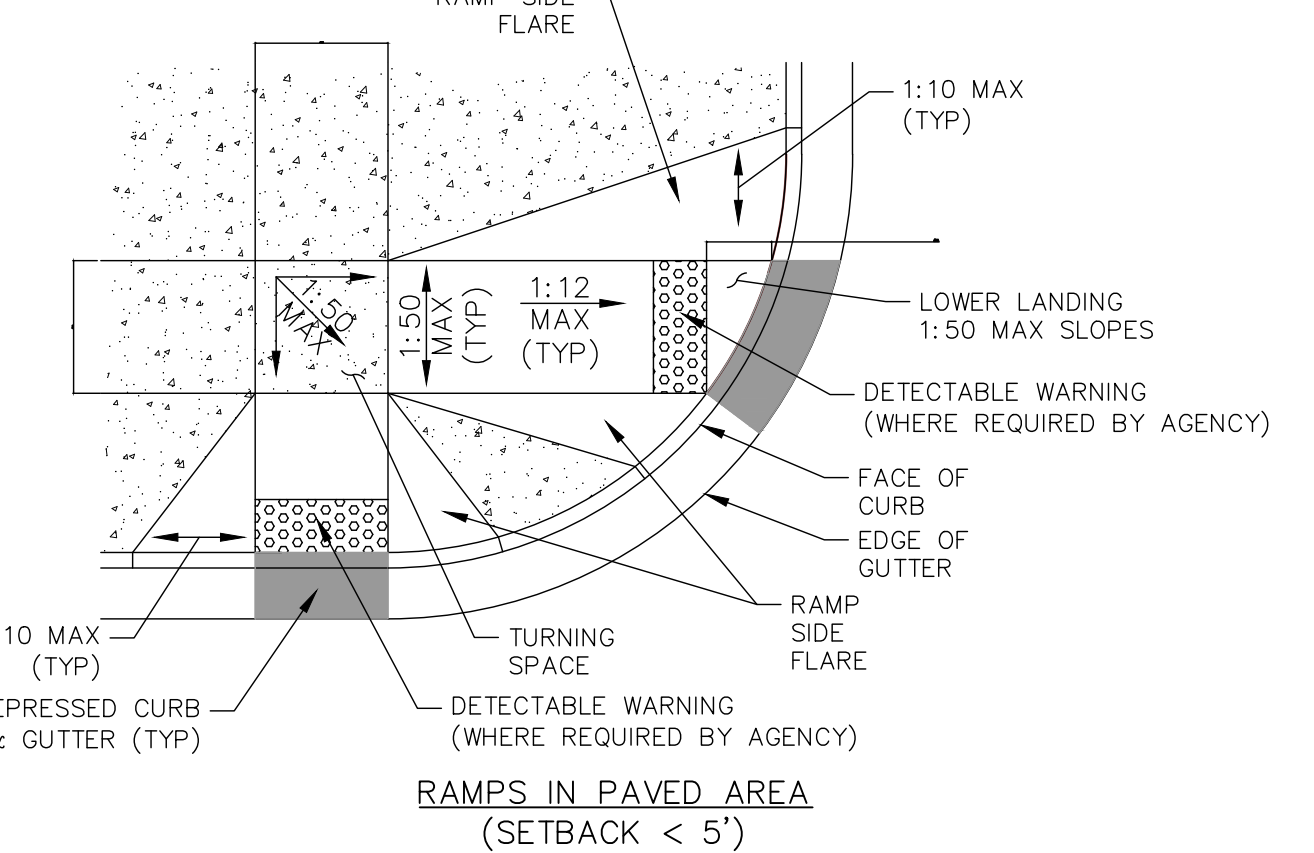
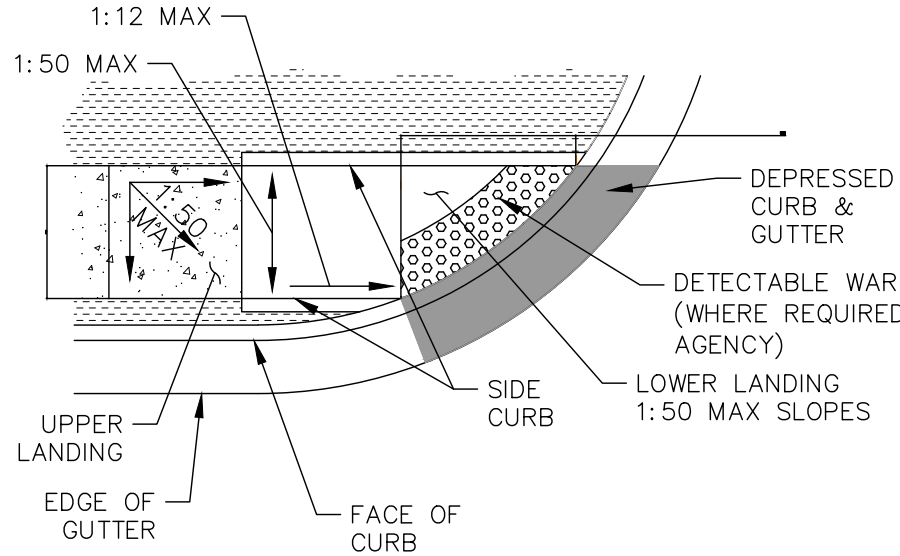
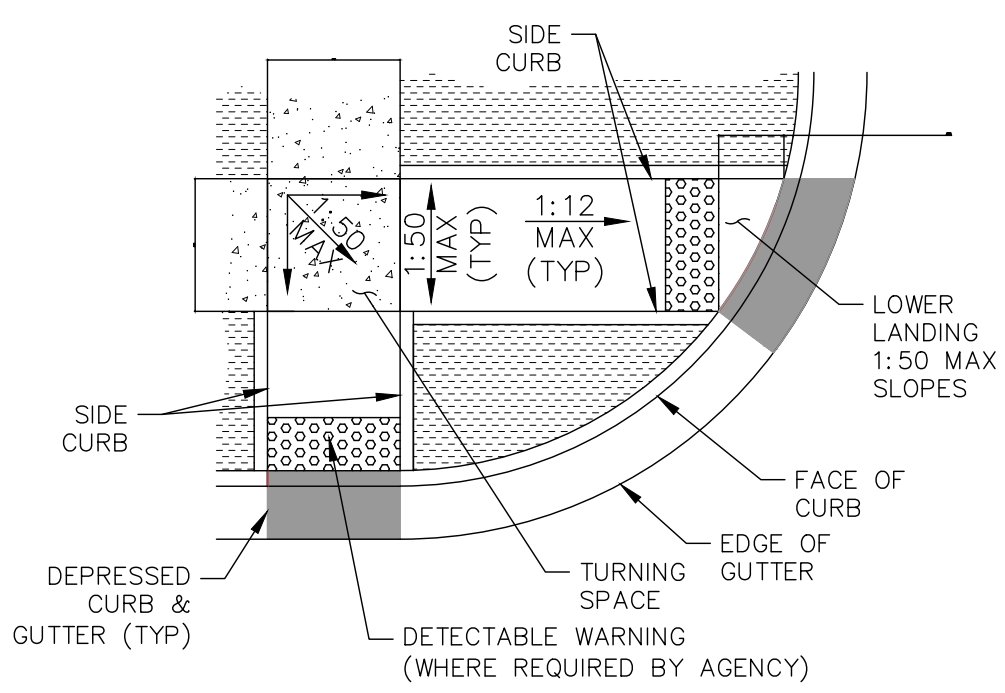
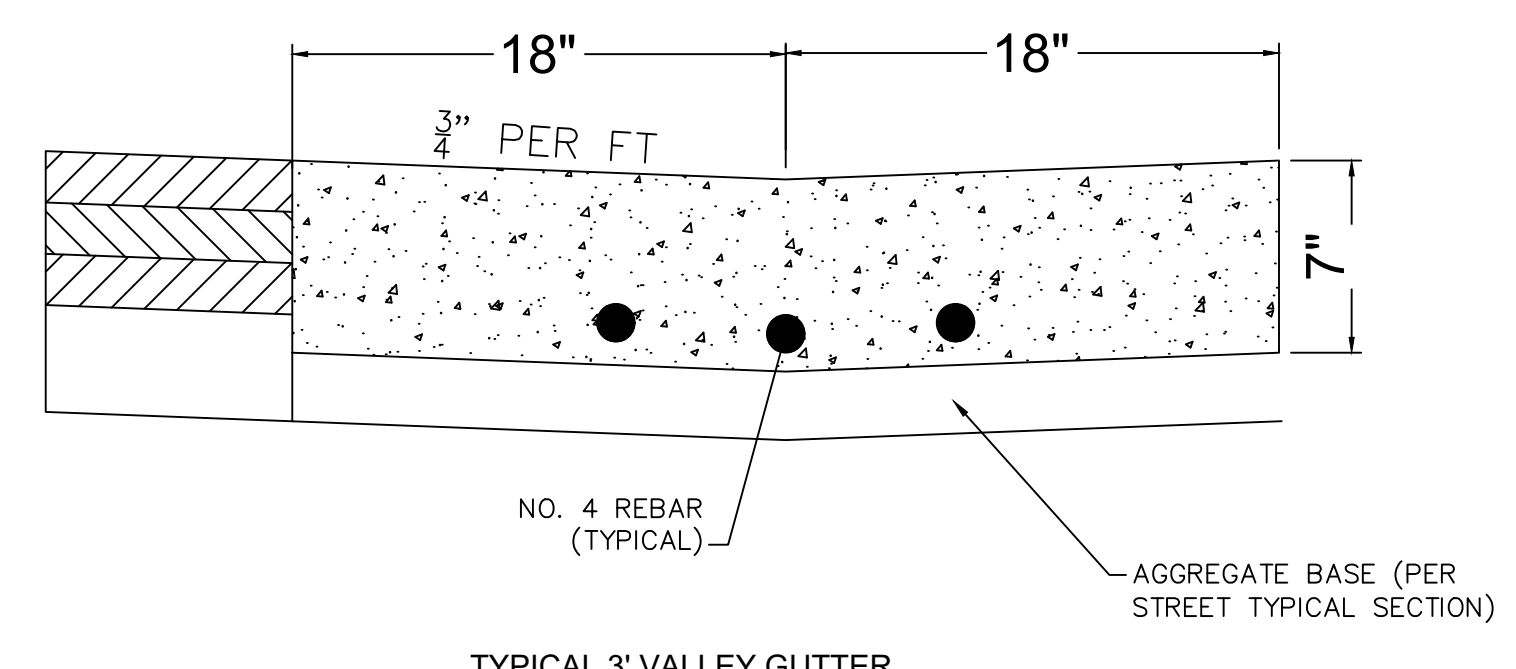
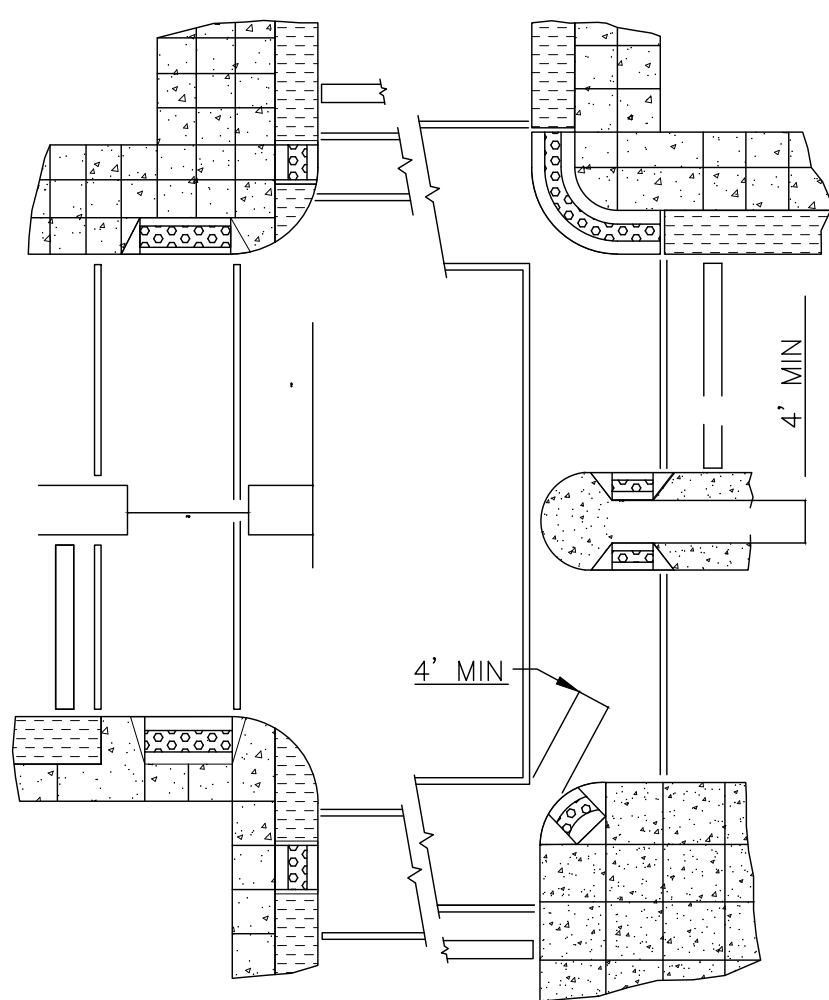
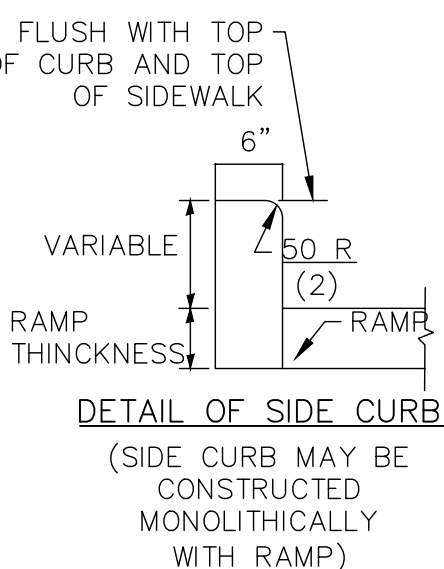
ACCESSIBLE PARKING SYMBOL

**GENERAL NOTES:**

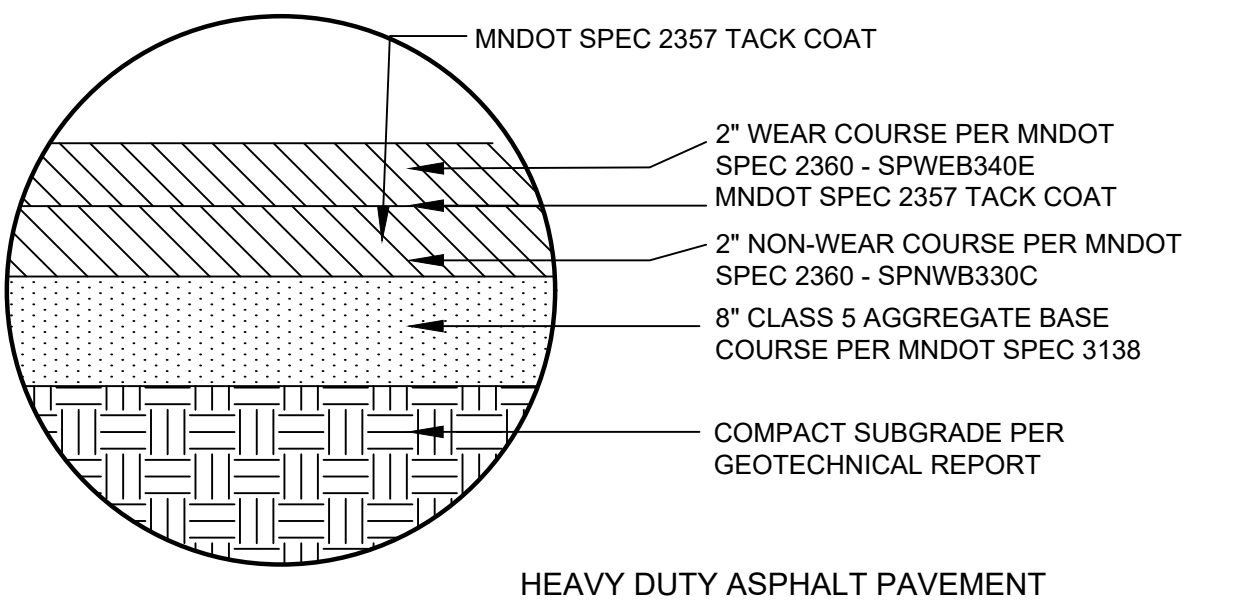
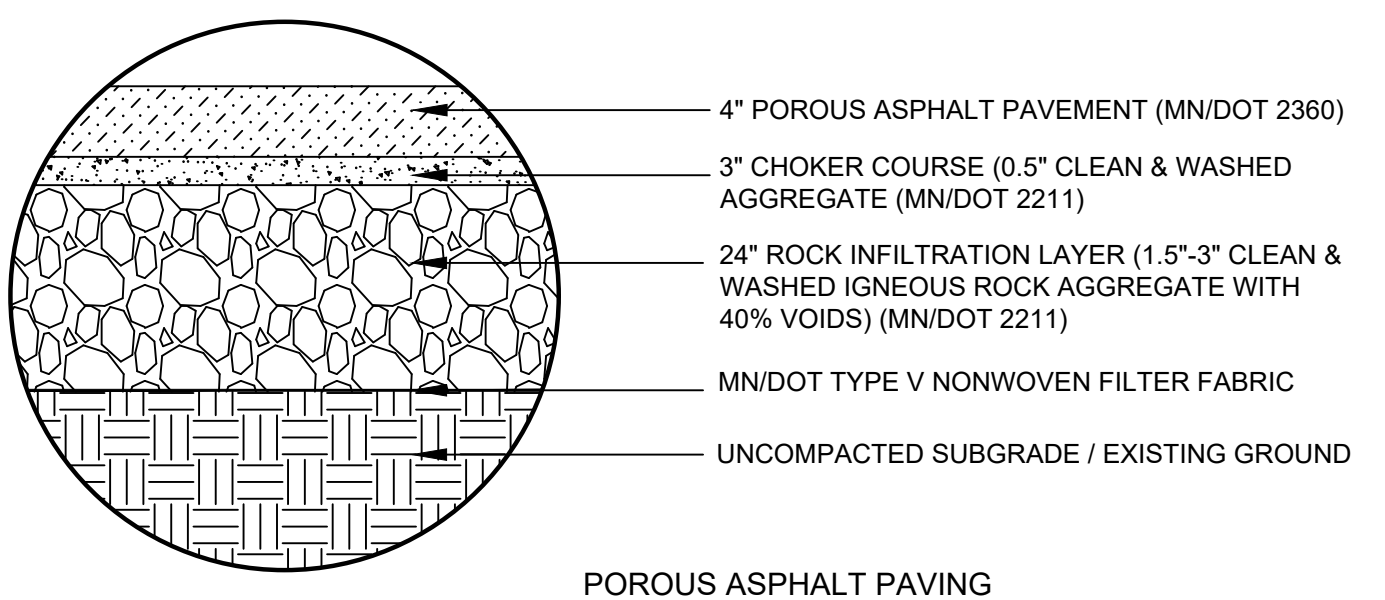
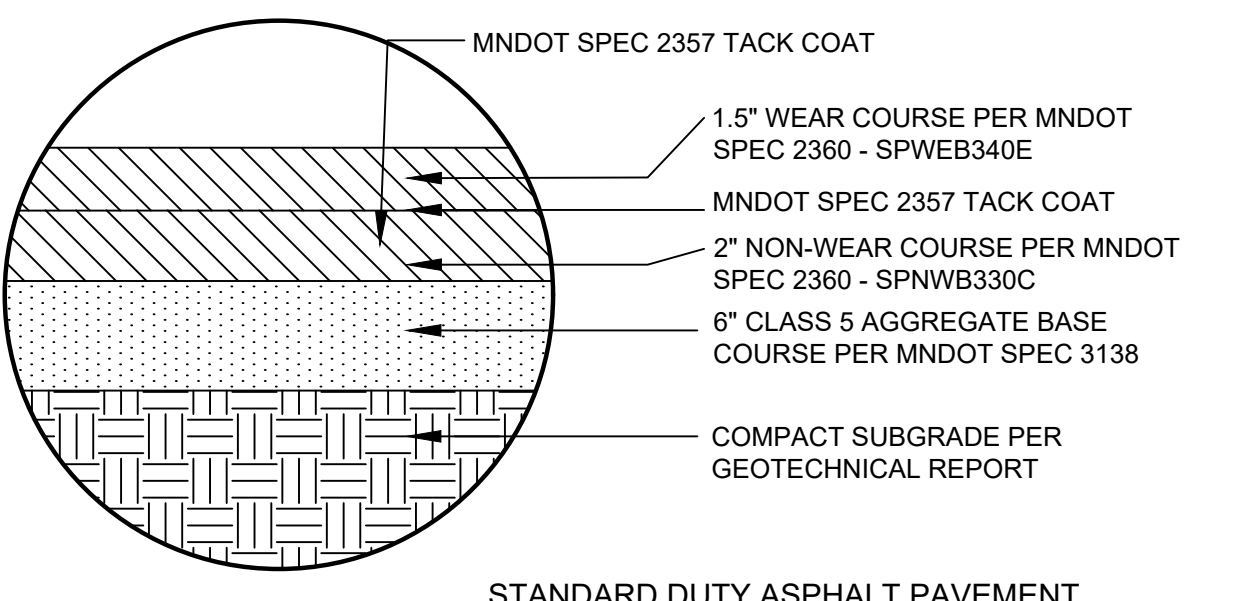
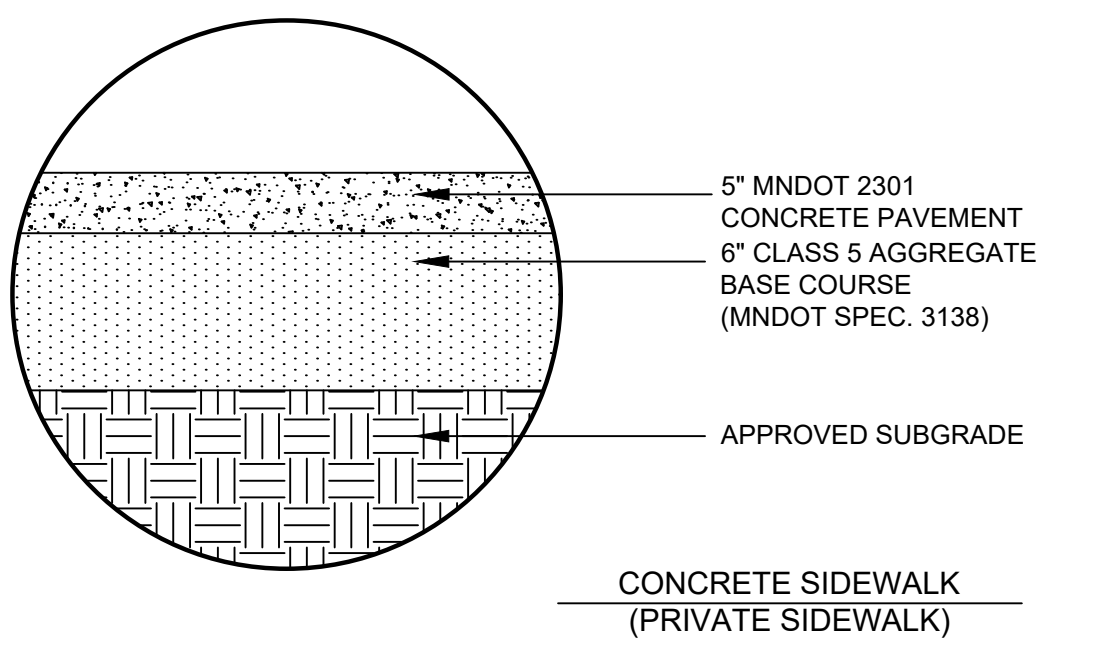
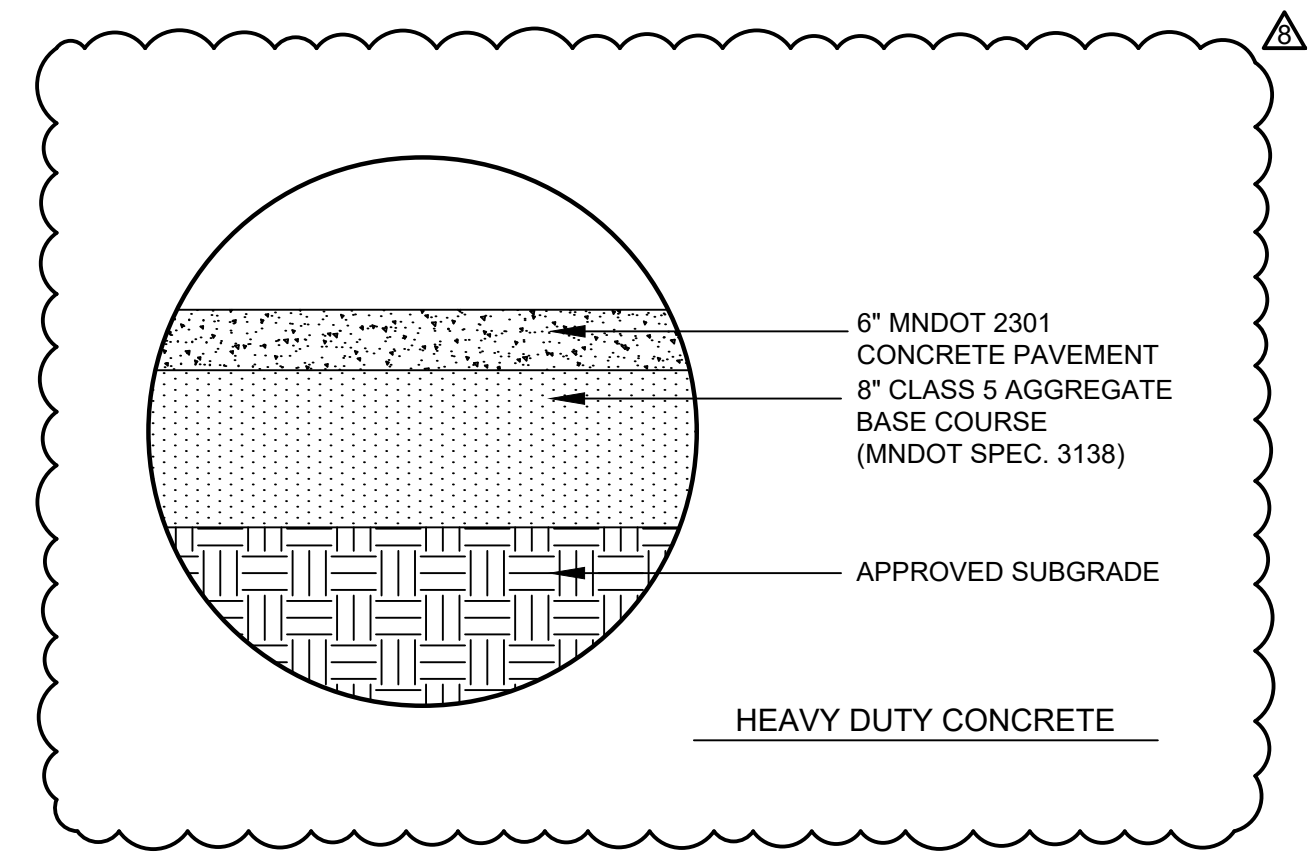
1. THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMPS SHALL BE 1:10; HOWEVER, IF THE WIDTH OF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN 1.2m (4'-0") THEN THE MAXIMUM SLOPE SHALL BE 1:12.
2. ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMENT (V:H).
3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.
4. RAMP DETAILS TO BE COORDINATED PER VILLAGE REQUIREMENTS.
5. DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WHICH CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
6. CONTRACTOR TO SELECT ADA DETECTABLE WARNING PERMEABLE PAVERS OR CONCRETE WITH ADA DETECTABLE WARNING DOMES FOR RAMPS.

**LEGEND**

- SIDEWALK
- RAMP
- DETECTABLE WARNINGS
- NON WALKING AREA
- FACE OF BUILDING



**SIDEWALK AND SIDEWALK RAMPS**



PAVEMENT SECTIONS & SUBGRADE PREPARATION ARE PROVIDED FOR REFERENCE ONLY. REFER TO GEOTECHNICAL REPORT FOR ALL PAVEMENT, SUBGRADE PREPARATION, AND COMPACTION REQUIREMENTS.

**UNDERGROUND STORMWATER MANAGEMENT NOTES**

1. CONTRACTOR TO PROVIDE (2) DOUBLE RING INFILTRMETER TESTS WITHIN THE UNDERGROUND SYSTEM EXCAVATION PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM. THE CONTRACTOR SHALL PROVIDE THE RESULTS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM.
2. CONTRACTOR SHALL OVER-EXCAVATE ALL FILL AS NECESSARY TO NATIVE SANDY SOILS. EXCAVATION SHALL BE REPLACED WITH SUITABLE ENGINEERED FILL MEETING THE MNDOT SPECIFICATION FOR COARSE FILTER AGGREGATE PER SECTION 3149.2H. DEPTHS OF FILL/URBAN FILL EXPECTED TO VARY, CONTRACTOR SHALL VERIFY DEPTHS OF EXCAVATION AND PERFORM INFILTRMETER TESTS PRIOR TO INSTALLING UNDERGROUND SYSTEM.
3. IF NATIVE SUBGRADE SOILS BELOW FILL ARE DETERMINED TO NOT BE CONDUCIVE TO THE DESIGN INFILTRATION REQUIREMENTS, THE CONTRACTOR SHALL REMOVE AND REPLACE THE POORLY INFILTRATING SOILS TO A DEPTH WHERE THE EXISTING NATIVE SUBGRADE SOILS MEET OR EXCEED THE DESIGN INFILTRATION RATE AS REVIEWED BY THE ENGINEER.
4. UPON COMPLETION OF THE STORMWATER BMP AND FINAL STABILIZATION OF THE TRIBUTARY DRAINAGE AREA, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION THAT SHOW THAT THE BMPS DRAW DOWN WITHIN 48 HOURS AFTER A SIGNIFICANT RAIN EVENT.
5. NO CONSTRUCTION EQUIPMENT SHALL TRAVEL WITHIN THE UNDERGROUND INFILTRATION SYSTEM AREA. USE EXCAVATOR WITH TOOTHED BUCKET FOR INFILTRATION BASIN EXCAVATION TO AVOID COMPACTING OR SMEARING OF SOILS.
6. FINAL EXCAVATION OF UNDERGROUND INFILTRATION SYSTEM AREA AND INSTALLATION OF OF ENGINEERED SOIL MUST OCCUR IN DRY SOIL CONDITIONS TO PREVENT SMEARING AND COMPACTION. DO NOT WORK IN INFILTRATION SYSTEM AREA IF SOIL CONDITIONS ARE WET.
7. IMMEDIATELY FOLLOWING SYSTEM CONSTRUCTION, THE EXCAVATION FOR THE TRENCH SHALL BE IMMEDIATELY BACKFILLED WITH APPROVED BACKFILL MATERIAL PER MANUFACTURER'S RECOMMENDATION, OR THE EXCAVATION SHALL BE PROTECTED WITH SILT FENCE AND OR BIO-ROLLS SUCH THAT ON-SITE SOILS DO NOT ENTER THE TRENCH EXCAVATION AND CLOG UP THE BOTTOM/SIDES OF THE TRENCH LIMITING THE INFILTRATION CAPACITY OF THE UNDERGROUND SYSTEM.
8. IF ANY SOILS ENTER THE TRENCH PRIOR TO BACKFILLING, THE CONTRACTOR SHALL REMOVE SOILS AND CONFIRM THE INFILTRATION CAPACITY OF THE NATIVE SUBGRADE SOILS IS MET WITH INFILTRMETER TESTS.
9. CONTRACTOR SHALL COORDINATE AND COMPLETE CERTIFIED AS-BUILT PLANS DEMONSTRATING ALL CONSTRUCTED STORMWATER CONVEYANCE STRUCTURES, AND STORMWATER MANAGEMENT FACILITIES (INCLUDING AS-BUILT VOLUMES) CONFORM TO DESIGN AND/OR PLANS AS APPROVED BY THE CITY.
10. STORMWATER MANAGEMENT AREAS TO BE KEPT OFF-LINE UNTIL DISTURBED AREAS ARE RESTORED. IF NOT POSSIBLE, SYSTEMS MUST BE CLEANED OUT PRIOR TO CERTIFICATE OF OCCUPANCY.

K:\TWC\_LDEV\United\_Properties\Lincoln Lane Residence - Eden Prairie, MN\3 Design\CAD\PlanSheets\CA-SITE DETAILS.dwg May 26, 2022 - 6:36pm

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2022 KIMLEY-HORN AND ASSOCIATES, INC.  
707 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE 651-665-4197  
WWW.KIMLEY-HORN.COM

**DLR Group**  
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ALAN L. CATCHPOOL  
DATE: 05/25/2022 I.C. NO. 49989

**THE ELLIE**  
MULTI-FAMILY RESIDENTIAL BUILDING  
EDEN PRAIRIE, MN

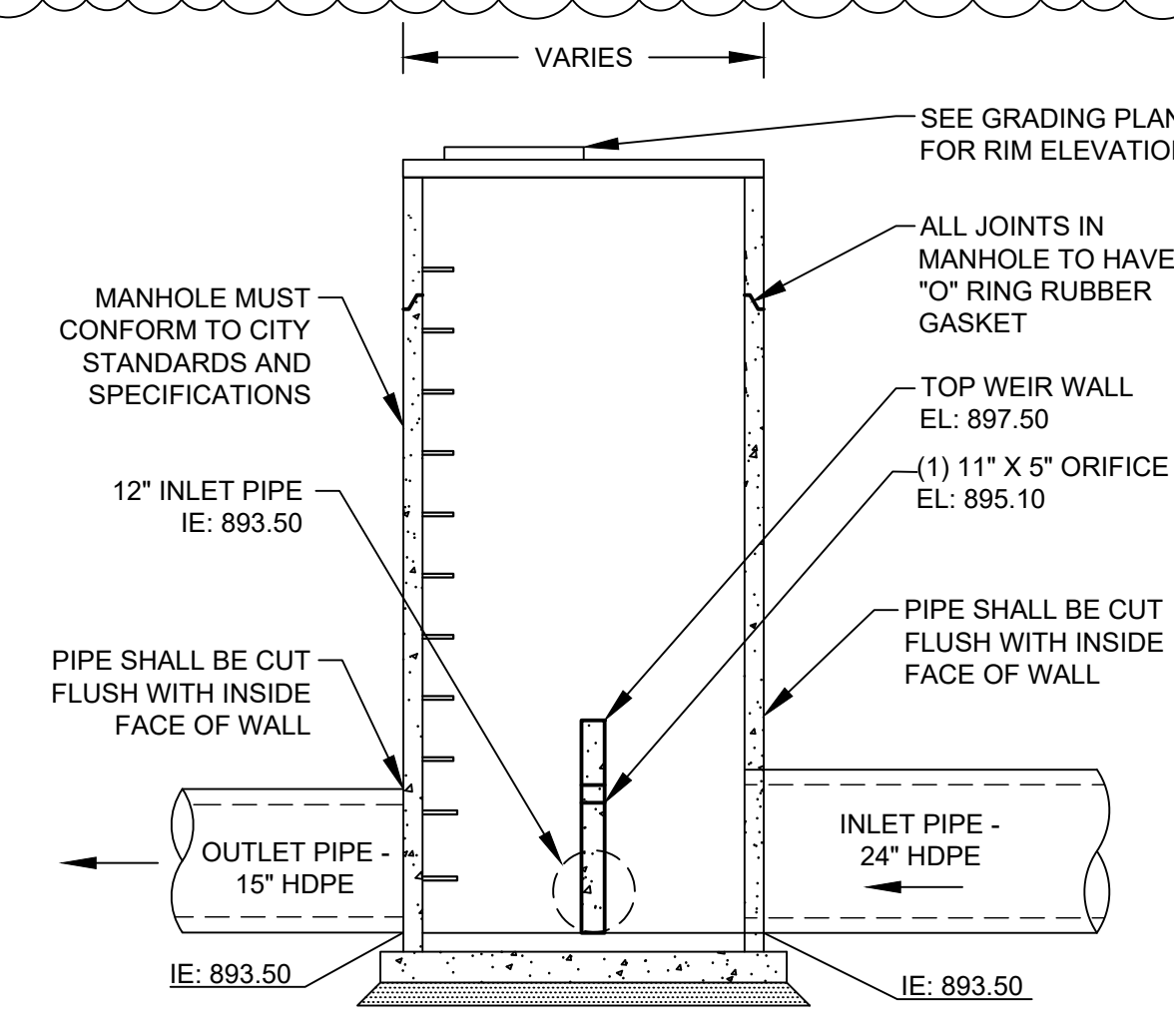
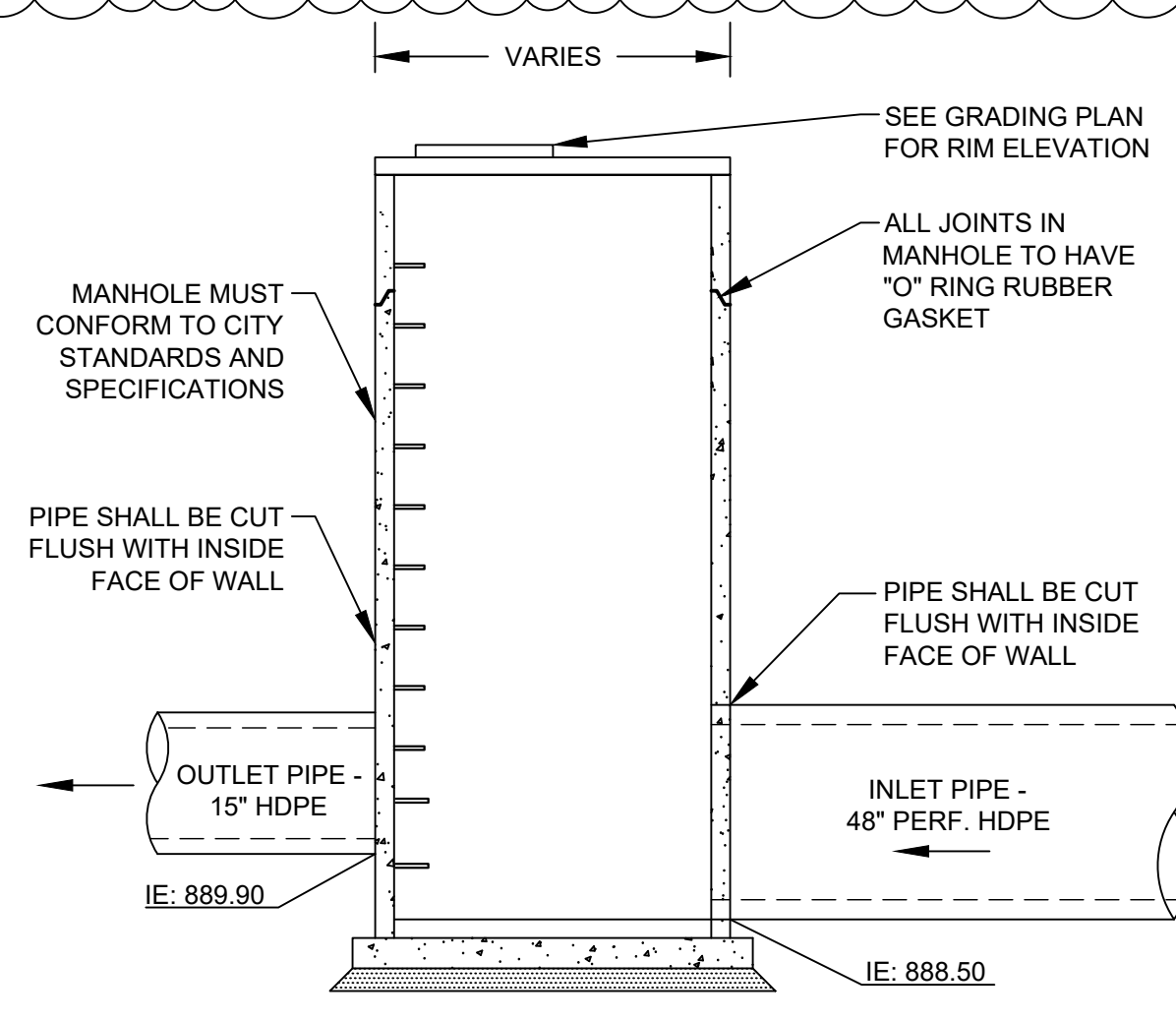
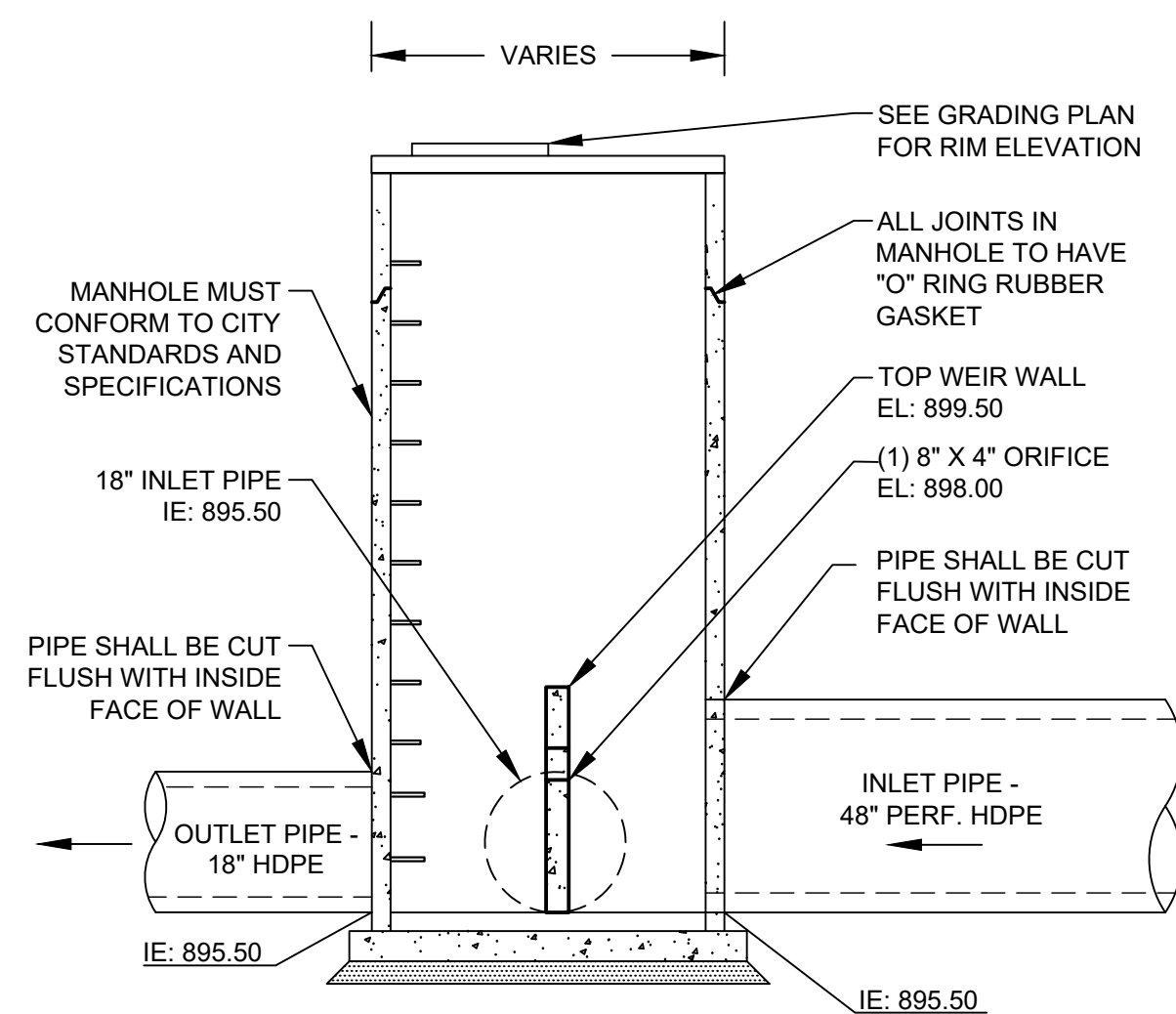
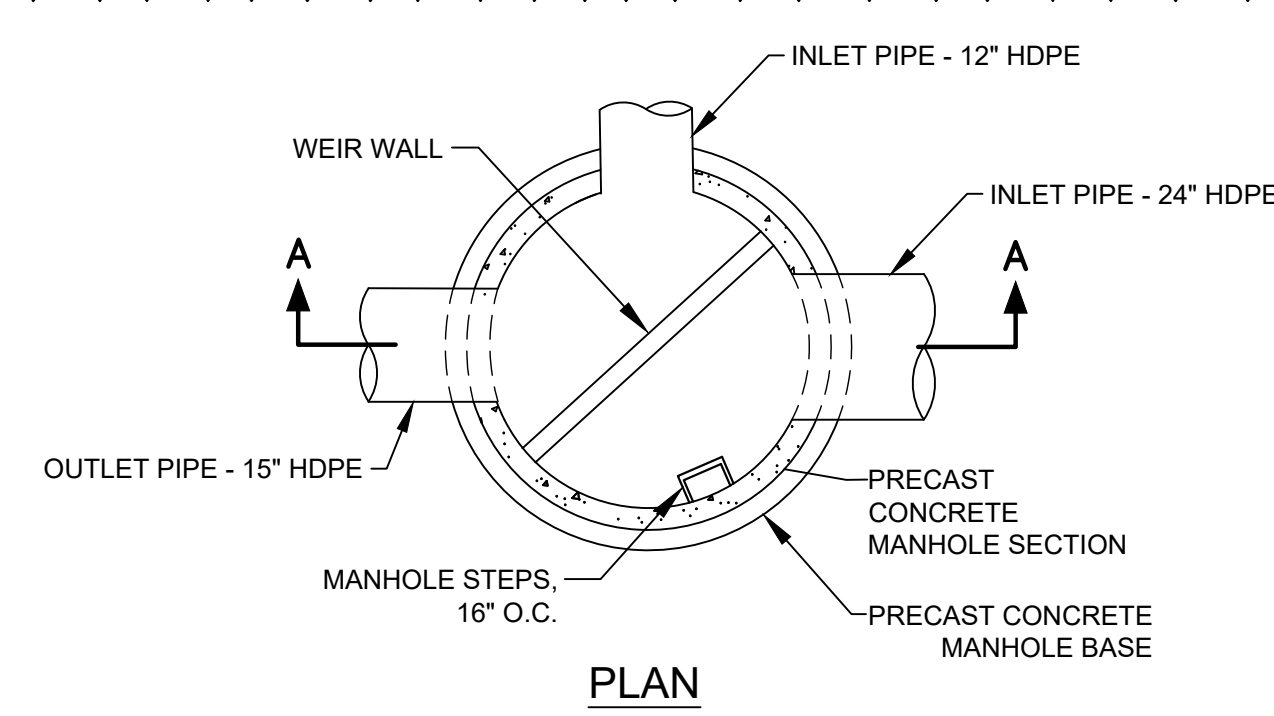
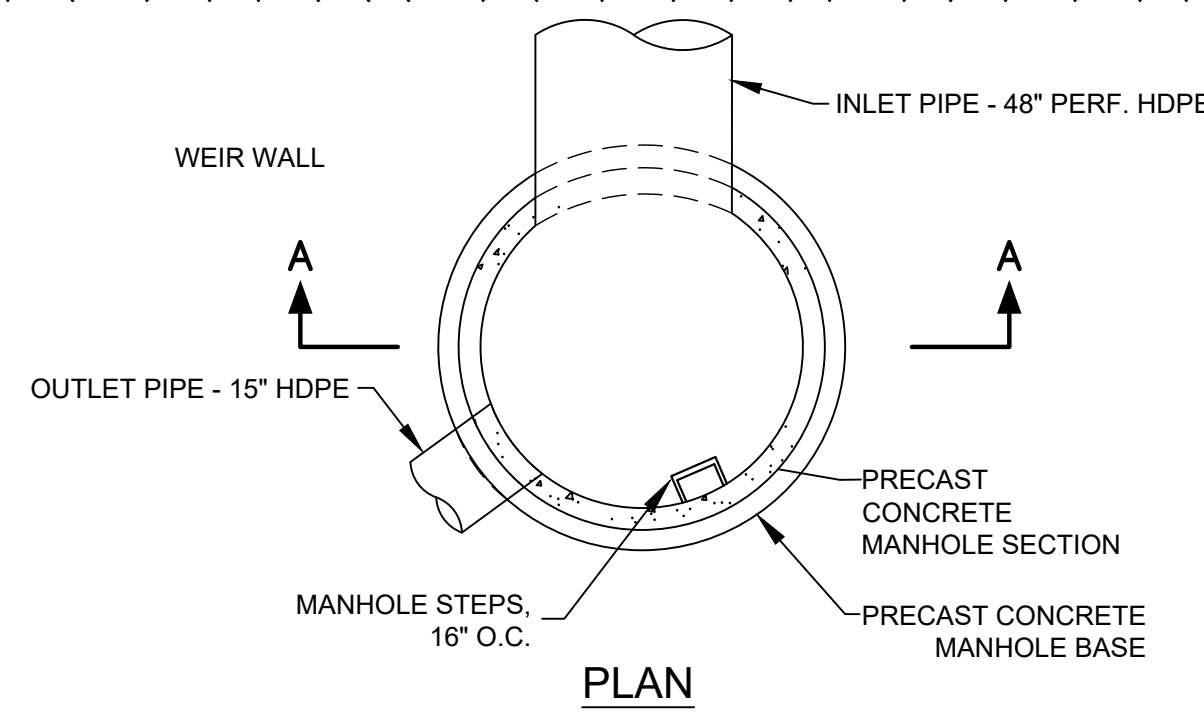
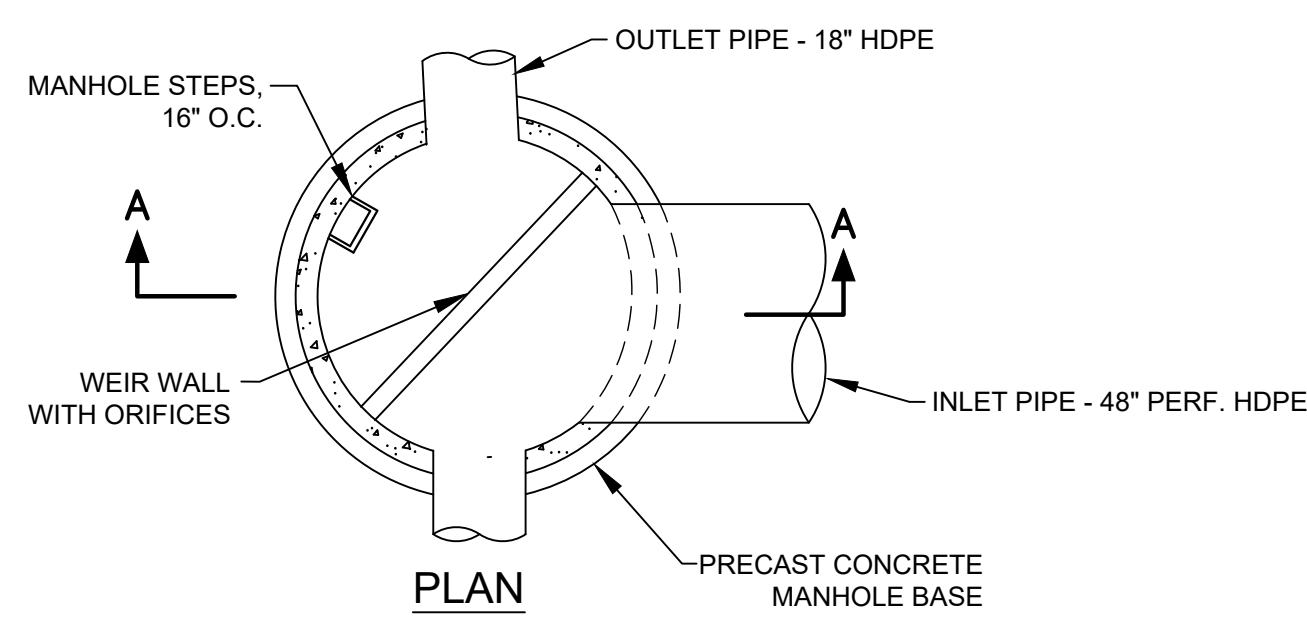
**ISSUE FOR PERMIT**  
MAY 25, 2022

Revisions  
07.21.2021 CITY SUBMITTAL  
08.19.2021 CITY RE-SUBMITTAL  
10.07.2021 CITY RE-SUBMITTAL  
10.26.2021 CITY RE-SUBMITTAL  
11.16.2021 CITY RE-SUBMITTAL  
12.01.2021 CITY RE-SUBMITTAL  
04.25.2022 50% CD DRAWINGS  
05.10.2022 CITY RE-SUBMITTAL  
05.25.2022 ISSUE FOR PERMIT

40-21110-00  
**CONSTRUCTION DETAILS**  
**C702**

K:\TWC\_LDEV\United\_Properties\Lincoln Lane Residence - Eden Prairie, MN\3 Design\CAD\PlanSheets\CA-SITE DETAILS.dwg June 30, 2022 - 8:03pm

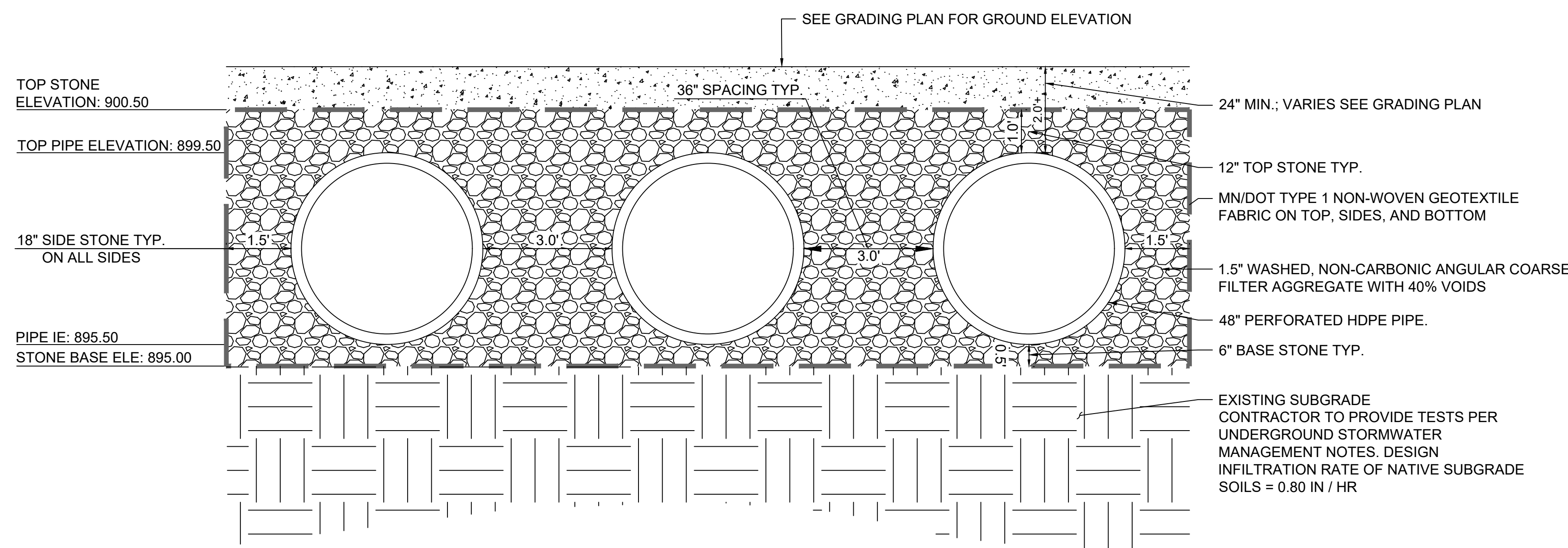
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**OUTLET CONTROL STRUCTURE -  
OCS 100 (BMP #1)**  
NTS.

**OUTLET CONTROL STRUCTURE -  
OCS 101 (BMP #4)**  
NTS.

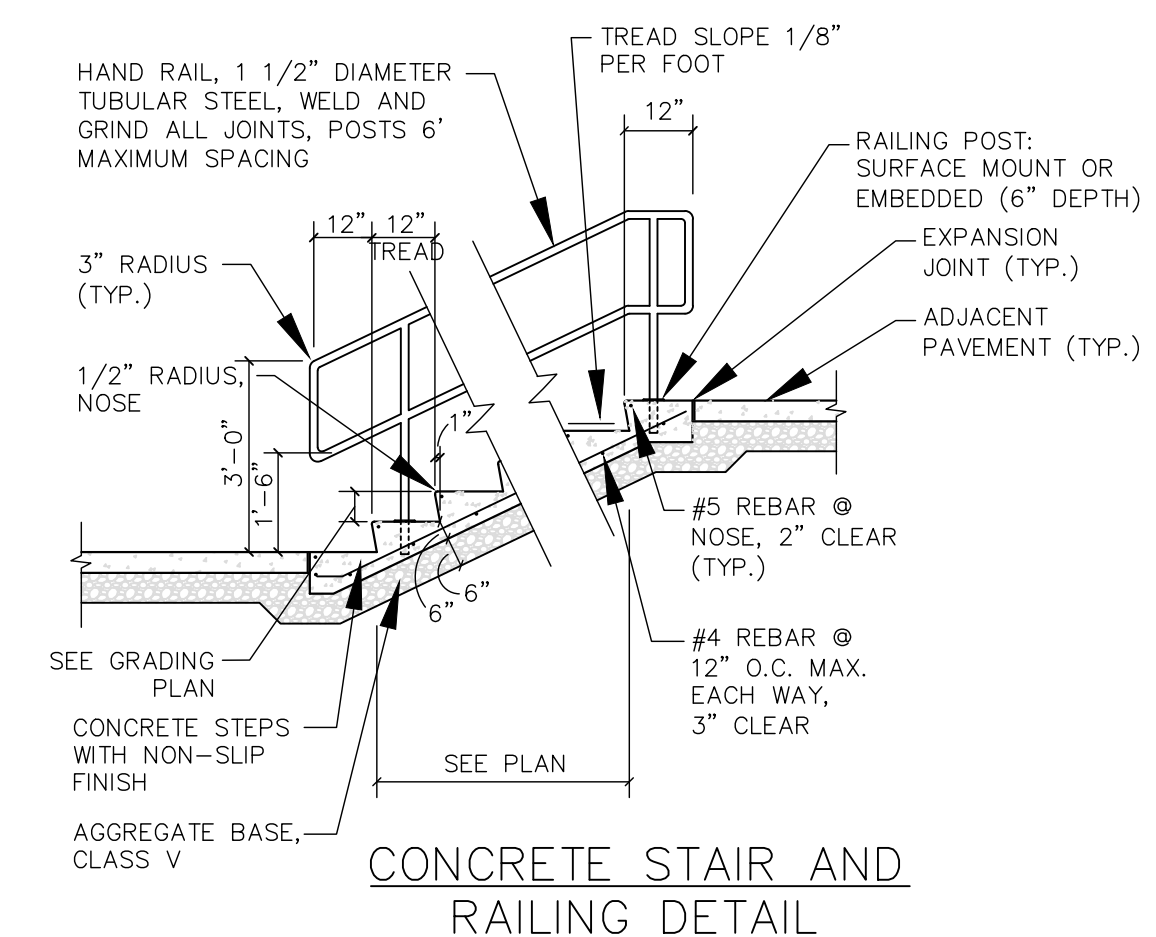
**OUTLET CONTROL STRUCTURE -  
OCS 102 (BMP #3)**  
NTS.



**BMP #1  
UNDERGROUND INFILTRATION SYSTEM DETAILS**  
SCALE 1" = 2'

- NOTES:
- ALL HDPE CONNECTIONS SHALL BE MADE WITH WATERTIGHT MATERIALS.
  - THE CONTRACTOR SHALL TAKE CARE TO PREVENT SEDIMENT AND DEBRIS FROM CLOGGING THE PORE SPACE IN THE COARSE FILTER AGGREGATE.

- NOTES:
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL. FIELD VERIFY CONDITIONS.
  - RAILING AND STAIRS BOTH SIDES OF STAIRS AND PER ADA REQUIREMENTS.
  - ALL HARDWARE TO BE GALVANIZED OR STAINLESS STEEL, AND FINISH TO MATCH RAILING.
  - RAILING FINISH TO BE PRIMED AND PAINTED. COLOR TO PER OWNER.



**CONCRETE STAIR AND  
RAILING DETAIL**

**DLR Group**  
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Alan L. Catchpool  
ALAN L. CATCHPOOL  
DATE: 05/25/2022 I.C. NO. 47989

**Kimley-Horn**

2022 KIMLEY-HORN AND ASSOCIATES, INC.  
707 EAST ST. STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE 651-666-4197  
WWW.KIMLEY-HORN.COM

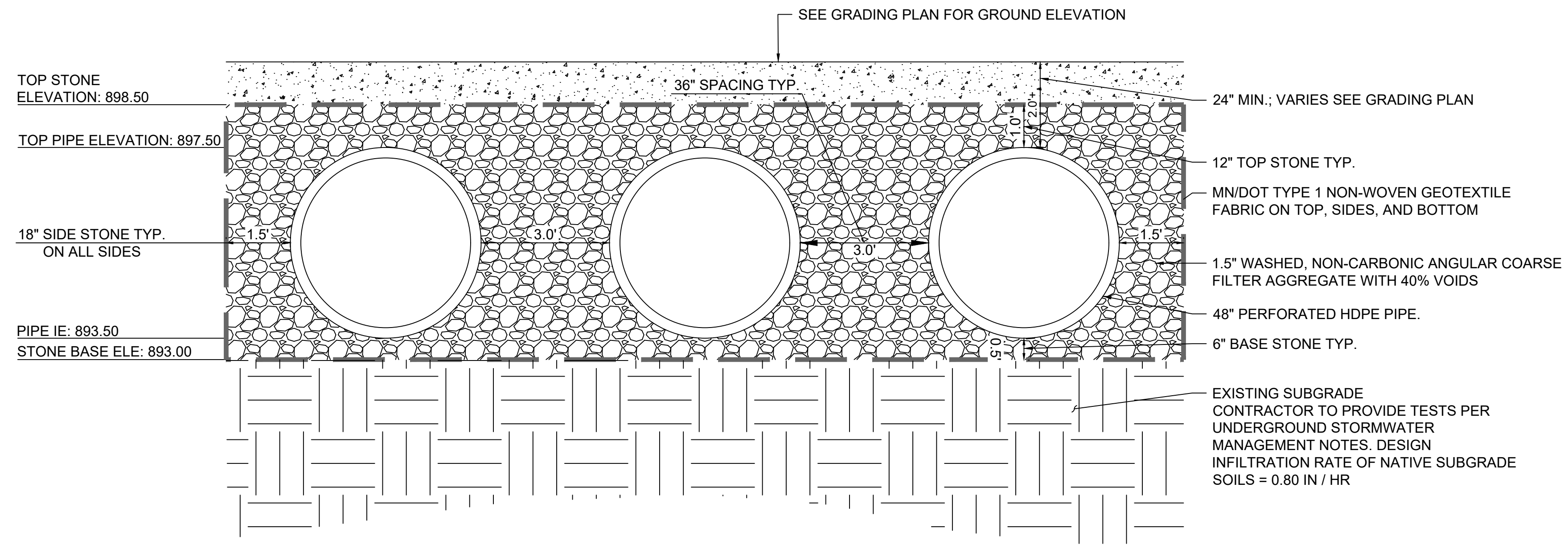
**THE ELLIE**  
MULTI-FAMILY RESIDENTIAL BUILDING  
EDEN PRAIRIE, MN

ISSUE FOR PERMIT  
MAY 25, 2022  
Revisions  
10.07.2021 CITY RE-SUBMITTAL  
10.26.2021 CITY RE-SUBMITTAL  
11.15.2021 CITY RE-SUBMITTAL  
12.01.2021 CITY RE-SUBMITTAL  
04.25.2022 50% CD DRAWINGS  
05.10.2022 CITY RE-SUBMITTAL  
05.25.2022 ISSUE FOR PERMIT  
06.30.2022 PERMIT REVIEW RESPONSES

40-21110-00  
**CONSTRUCTION  
DETAILS**

**C703**

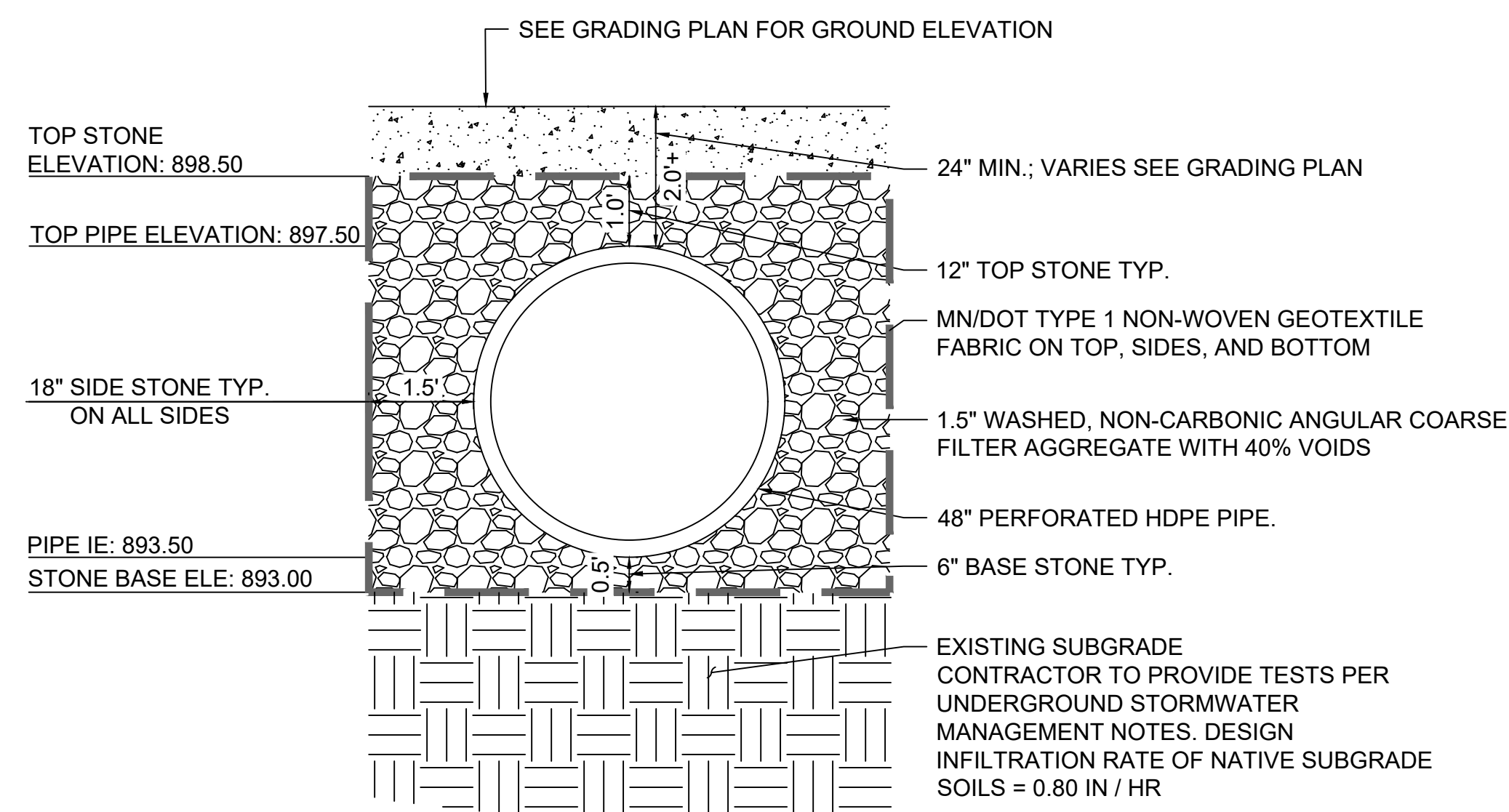
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**BMP #2**  
 UNDERGROUND INFILTRATION SYSTEM DETAILS  
 SCALE 1" = 2'

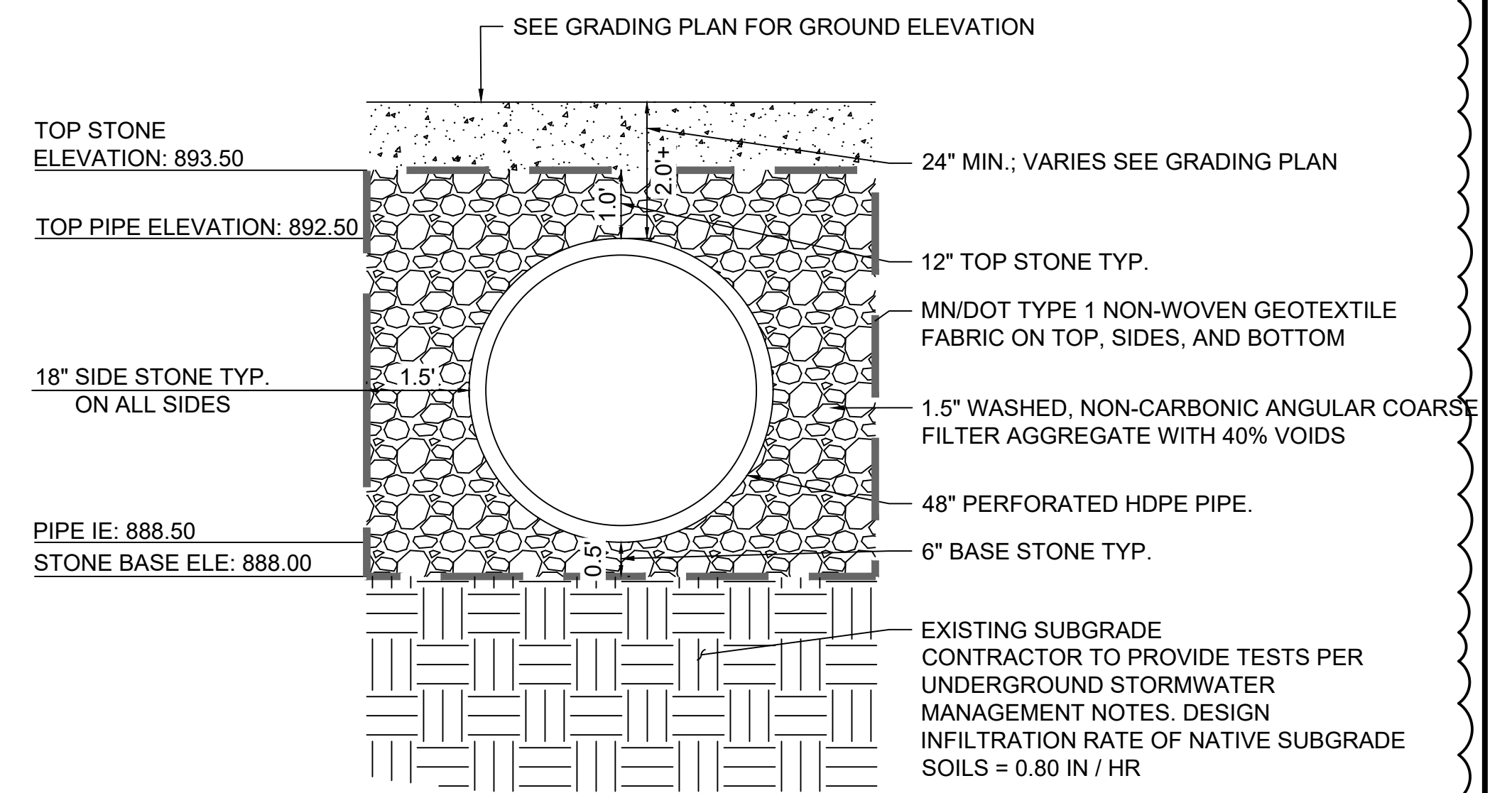
- NOTES:
1. ALL HDPE CONNECTIONS SHALL BE MADE WITH WATERTIGHT MATERIALS.
  2. THE CONTRACTOR SHALL TAKE CARE TO PREVENT SEDIMENT AND DEBRIS FROM CLOGGING THE PORE SPACE IN THE COARSE FILTER AGGREGATE.

— SEE GRADING PLAN FOR GROUND ELEVATION



**BMP #3**  
 UNDERGROUND INFILTRATION SYSTEM DETAILS  
 SCALE 1" = 2'

- NOTES:
1. ALL HDPE CONNECTIONS SHALL BE MADE WITH WATERTIGHT MATERIALS.
  2. THE CONTRACTOR SHALL TAKE CARE TO PREVENT SEDIMENT AND DEBRIS FROM CLOGGING THE PORE SPACE IN THE COARSE FILTER AGGREGATE.



**BMP #4**  
 UNDERGROUND INFILTRATION SYSTEM DETAILS  
 SCALE 1" = 2'

- NOTES:
1. ALL HDPE CONNECTIONS SHALL BE MADE WITH WATERTIGHT MATERIALS.
  2. THE CONTRACTOR SHALL TAKE CARE TO PREVENT SEDIMENT AND DEBRIS FROM CLOGGING THE PORE SPACE IN THE COARSE FILTER AGGREGATE.



**ROOF PLAN GENERAL NOTES**

- A. ROOF SHALL BE CONSTRUCTED IN ACCORDANCE TO ALL APPLICABLE CODES AND REGULATIONS. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL PRODUCTS. PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- B. ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL PRODUCTS. PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- C. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- D. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- E. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- F. SEE STRUCTURAL DRAWINGS FOR FINISHING AND/OR ROOFING. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- G. VERIFY THE SIZE AND LOCATION OF ROOF FLASHINGS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
- H. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- I. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- J. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- K. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- L. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**ROOF PLAN SYMBOL LEGEND**

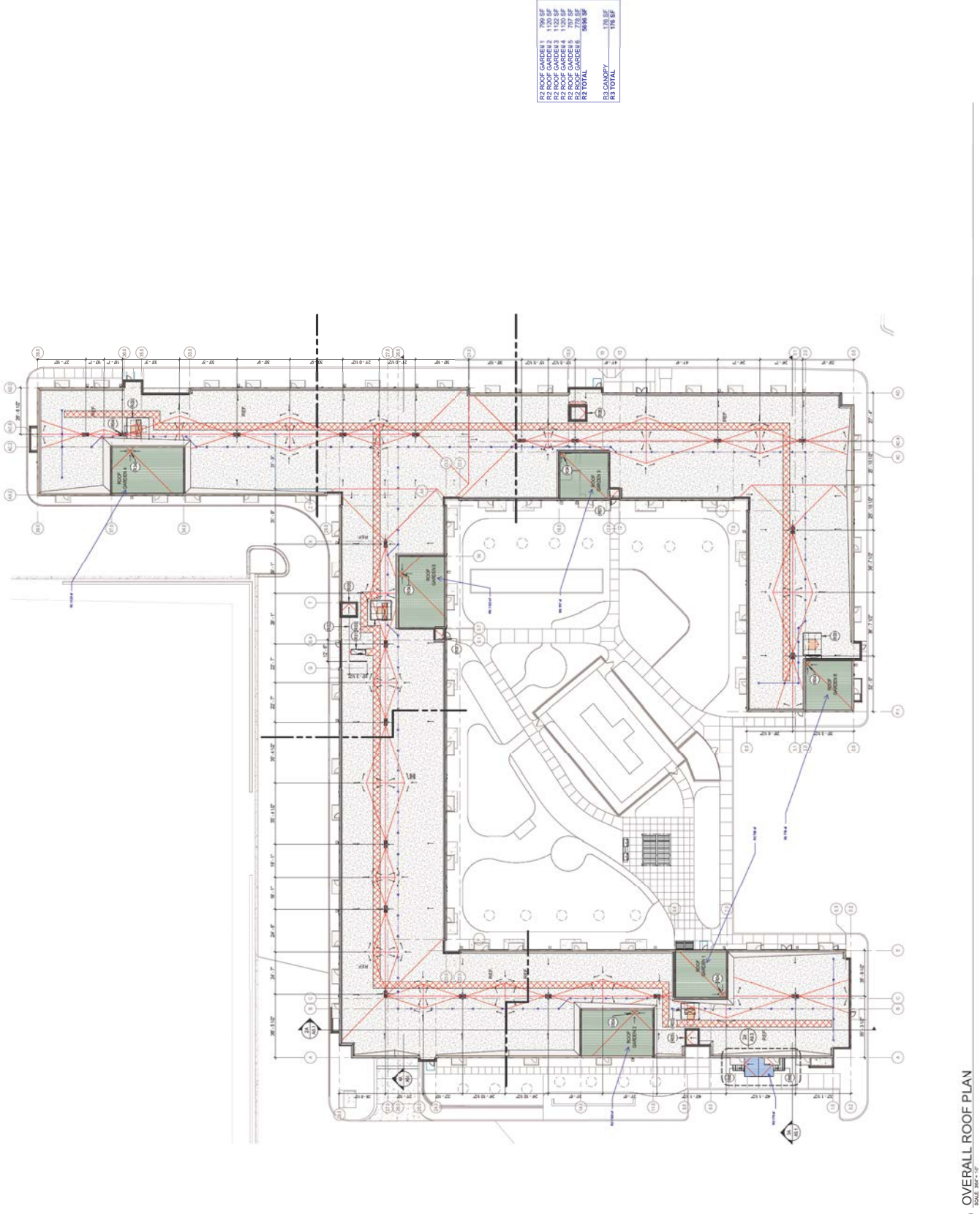
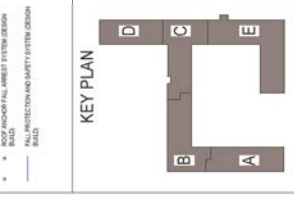
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ROOF R3	7.8000	ASPH/FLT
ROOF R4	7.8000	ASPH/FLT
ROOF R5	7.8000	ASPH/FLT
ROOF R6	7.8000	ASPH/FLT
ROOF R7	7.8000	ASPH/FLT
ROOF R8	7.8000	ASPH/FLT
ROOF R9	7.8000	ASPH/FLT
ROOF R10	7.8000	ASPH/FLT
ROOF R11	7.8000	ASPH/FLT
ROOF R12	7.8000	ASPH/FLT
ROOF R13	7.8000	ASPH/FLT
ROOF R14	7.8000	ASPH/FLT
ROOF R15	7.8000	ASPH/FLT
ROOF R16	7.8000	ASPH/FLT
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ROOF R28	7.8000	ASPH/FLT
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ROOF R30	7.8000	ASPH/FLT
ROOF R31	7.8000	ASPH/FLT
ROOF R32	7.8000	ASPH/FLT
ROOF R33	7.8000	ASPH/FLT
ROOF R34	7.8000	ASPH/FLT
ROOF R35	7.8000	ASPH/FLT
ROOF R36	7.8000	ASPH/FLT
ROOF R37	7.8000	ASPH/FLT
ROOF R38	7.8000	ASPH/FLT
ROOF R39	7.8000	ASPH/FLT
ROOF R40	7.8000	ASPH/FLT
ROOF R41	7.8000	ASPH/FLT
ROOF R42	7.8000	ASPH/FLT
ROOF R43	7.8000	ASPH/FLT
ROOF R44	7.8000	ASPH/FLT
ROOF R45	7.8000	ASPH/FLT
ROOF R46	7.8000	ASPH/FLT
ROOF R47	7.8000	ASPH/FLT
ROOF R48	7.8000	ASPH/FLT
ROOF R49	7.8000	ASPH/FLT
ROOF R50	7.8000	ASPH/FLT

**ROOF PLAN GENERAL NOTES (Continued)**

- M. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- N. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- O. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- P. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- Q. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- R. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- S. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- T. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- U. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- V. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- W. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- X. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- Y. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- Z. ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**SHEET NOTES**

1. ROOF ACCESS HATCH
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50. ROOF ACCESS HATCH



R2 ROOF GARDEN 1	7.80 SF
R2 ROOF GARDEN 2	11.02 SF
R2 ROOF GARDEN 3	13.02 SF
R2 ROOF GARDEN 4	13.02 SF
R2 ROOF GARDEN 5	13.02 SF
R2 ROOF GARDEN 6	7.76 SF
R2 ROOF GARDEN 7	8.06 SF
R2 ROOF GARDEN 8	11.02 SF
R2 ROOF GARDEN 9	11.02 SF
R2 ROOF GARDEN 10	11.02 SF
R2 ROOF GARDEN 11	11.02 SF
R2 ROOF GARDEN 12	11.02 SF
R2 ROOF GARDEN 13	11.02 SF
R2 ROOF GARDEN 14	11.02 SF
R2 ROOF GARDEN 15	11.02 SF
R2 ROOF GARDEN 16	11.02 SF
R2 ROOF GARDEN 17	11.02 SF
R2 ROOF GARDEN 18	11.02 SF
R2 ROOF GARDEN 19	11.02 SF
R2 ROOF GARDEN 20	11.02 SF
R2 ROOF GARDEN 21	11.02 SF
R2 ROOF GARDEN 22	11.02 SF
R2 ROOF GARDEN 23	11.02 SF
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R2 ROOF GARDEN 30	11.02 SF
R2 ROOF GARDEN 31	11.02 SF
R2 ROOF GARDEN 32	11.02 SF
R2 ROOF GARDEN 33	11.02 SF
R2 ROOF GARDEN 34	11.02 SF
R2 ROOF GARDEN 35	11.02 SF
R2 ROOF GARDEN 36	11.02 SF
R2 ROOF GARDEN 37	11.02 SF
R2 ROOF GARDEN 38	11.02 SF
R2 ROOF GARDEN 39	11.02 SF
R2 ROOF GARDEN 40	11.02 SF
R2 ROOF GARDEN 41	11.02 SF
R2 ROOF GARDEN 42	11.02 SF
R2 ROOF GARDEN 43	11.02 SF
R2 ROOF GARDEN 44	11.02 SF
R2 ROOF GARDEN 45	11.02 SF
R2 ROOF GARDEN 46	11.02 SF
R2 ROOF GARDEN 47	11.02 SF
R2 ROOF GARDEN 48	11.02 SF
R2 ROOF GARDEN 49	11.02 SF
R2 ROOF GARDEN 50	11.02 SF
R2 ROOF GARDEN 51	11.02 SF
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R2 ROOF GARDEN 54	11.02 SF
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R2 ROOF GARDEN 73	11.02 SF
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R2 ROOF GARDEN 75	11.02 SF
R2 ROOF GARDEN 76	11.02 SF
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R2 ROOF GARDEN 87	11.02 SF
R2 ROOF GARDEN 88	11.02 SF
R2 ROOF GARDEN 89	11.02 SF
R2 ROOF GARDEN 90	11.02 SF
R2 ROOF GARDEN 91	11.02 SF
R2 ROOF GARDEN 92	11.02 SF
R2 ROOF GARDEN 93	11.02 SF
R2 ROOF GARDEN 94	11.02 SF
R2 ROOF GARDEN 95	11.02 SF
R2 ROOF GARDEN 96	11.02 SF
R2 ROOF GARDEN 97	11.02 SF
R2 ROOF GARDEN 98	11.02 SF
R2 ROOF GARDEN 99	11.02 SF
R2 ROOF GARDEN 100	11.02 SF
R3 CANOPY	1.76 SF
R3 TOTAL	176 SF

F

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**EXTERIOR WALL ASSEMBLIES**  
 SCALE: 1/8" = 1'-0"

**FCP01.0 / FCP02.0**  
**FIBER CONCRETE PANELS**  
 NON-RATED  
 R VALUE: 1.0

**FCP01.1 / FCP02.1**  
**FIBER CONCRETE PANELS**  
 NON-RATED  
 R VALUE: 1.0

**LPS01.0**  
**CEMENTITIOUS SIDING**  
 NON-RATED  
 R VALUE: 0.9

**LPS01.1**  
**CEMENTITIOUS SIDING**  
 NON-RATED  
 R VALUE: 0.9

**STN01.0**  
**ADHERED STONE**  
 NON-RATED  
 R VALUE: 0.9

**STN01.1**  
**ADHERED STONE**  
 NON-RATED  
 R VALUE: 0.9

**EXTERIOR WALL ASSEMBLIES**  
 SCALE: 1/8" = 1'-0"

**MA 12X1**  
**TYPICAL BELOW GRADE PARKING WALL**  
 NON-RATED  
 R VALUE: 0.8

**M1 12X2, M1 16X2**  
**ADHERED STONE ABOVE GRADE PARKING WALL WITH ADHERED STONE**  
 NON-RATED  
 R VALUE: 0.8

**FLOOR ASSEMBLIES**  
 SCALE: 1/8" = 1'-0"

**FS01**  
**1 HR RATED - WOOD FLOOR SYSTEM**  
 NON-RATED  
 R VALUE: 0.8

**FS02**  
**2 HR RATED - CONCRETE PLANK FLOOR SYSTEM**  
 0.8 RFI

**ROOF ASSEMBLIES**  
 SCALE: 1/8" = 1'-0"

**R1 & R1B**  
**1 HR RATED - ROOF SYSTEM**  
 NON-RATED  
 R VALUE: 1.1

**R2**  
**1 HR RATED - GREEN ROOF SYSTEM**  
 NON-RATED  
 R VALUE: 1.1

**R3**  
**NON-RATED GREEN ROOF SYSTEM**  
 NON-RATED  
 R VALUE: 1.1

**FS03**  
**NON RATED - SLAB ON GRADE FLOOR SYSTEM**