

Riley Purgatory Bluff Creek Watershed District Permit Application Review

Permit No: 2022-065

Application Received complete: August 16, 2022 (RPBCWD extended the permit review timeline by 60 days by email to Andrea Rand on October 5, 2022, pursuant to Minnesota Statutes section 15.99)

Considered at Board of Managers Meeting: December 7, 2022

Applicant: City of Eden Prairie

Consultant: ISG Inc.

Project: Round Lake Park Building– The applicant proposes a building reconstruction and modification to trails and sidewalks in Round Lake Park.

Location: The east side of Round Lake just west of Constitution Avenue between the splash pad and seasonal hockey rinks, in Eden Prairie MN

Reviewer: Katherine Tomaska, EIT, and Scott Sobiech, PE, Barr Engineering

Proposed Board Action

Manager _____ moved and Manager _____ seconded adoption of the following resolutions based on the permit report that follows and the presentation of the matter at the December 7, 2022 meeting of the managers:

Resolved that the application for Permit 2022-065 is approved, subject to the conditions and stipulations set forth in the Recommendations section of the attached report;

Resolved that on determination by the RPBCWD administrator that the conditions of approval have been met, the RPBCWD president or administrator is authorized and directed to sign and deliver Permit 2022-065 to the applicant on behalf of RPBCWD.

Upon vote, the resolutions were adopted, _____ [VOTE TALLY].

Applicable Rule Conformance Summary

Rule	Issue	Conforms to RPBCWD Rules?		Comments
C	Erosion Control Plan	See Comment		See rule-specific permit condition C1 related to name of individual responsible for on-site erosion control.
J	Stormwater Management	Rate	Yes	
		Volume	Yes	
		Water Quality	Yes	
		Low Floor Elev.	Yes	
		Maintenance	Yes	
		Chloride Management	Yes	
		Wetland Protection	NA	
L	Permit Fee Deposit	NA		Governmental Agency.
M	Financial Assurances	NA		Governmental Agency.

Project Description

The proposed Round Lake Park Building project includes the reconstruction of a recreational building, modifications to sidewalks, gathering spaces, and underground utilities, re-routing of existing storm sewers and construction of an infiltration basin. The 0.96-acre project is located on the east side of Round Lake just west of Constitution Avenue in Eden Prairie, MN.

This project is part of a larger project to reconstruct Round Lake Park and one permit has previously been issued for other work at the site under permit 2016-004. Updated project site information based on the proposed design is summarized below in conjunction with previous permit applications for the site:

Site Information	Permit 2016-004	Permit 2022-065 (Current)	Site Aggregate Total (Includes Two Projects)
Total Site Area (acres)	117.1	117.1	117.1
Existing Site Impervious Area (acres)	16.5	16.5	16.5 ¹
New (increase) in Site Impervious Area (acres)	1.5	0.06	1.56
Percent Increase in Impervious Surface	9.1	0.4	9.5 ²
Disturbed Site Impervious Area (acres)	4.0	0.45	4.45
Percent Disturbance of Existing Impervious Surface	24.2	2.7	26.9 ²
Exempt Impervious Area (trails 10 feet or less bordered downgradient by pervious area 5 feet or more) (acres)	0	0.07	0.07
Total Disturbed Area (acres)	17.5	0.96	18.46

¹Pre-2015 project existing conditions

²Calculated based on pre-2015 project existing conditions (Common Scheme of Development Rule J, Subsection 2.5)

Exhibits:

1. Permit Application received August 16, 2022 (RPBCWD extended the permit review timeline by 60 days by email to Andrea Rand on October 5, 2022, pursuant to Minnesota Statutes section 15.99)
2. Stormwater Management Report dated August 15, 2022.
3. Project Plan Set dated August 15, 2022
4. HydroCAD model received August 16, 2022
5. Revised Stormwater Management Report dated October 19, 2022
6. Revised Project Plan Set dated October 4, 2022
7. Revised HydroCAD model received October 20, 2022
8. Comment Response Letter dated October 19, 2022
9. Soil boring location sketch dated June 7, 2022 (revised September 8, 2022)

Rule Specific Permit Conditions

Rule C: Erosion and Sediment Control

Because the project will alter 0.96 acres of land-surface area, the project must conform to the requirements in the RPBCWD Erosion and Sediment Control rule (Rule C, Subsection 2.1).

The erosion control plan prepared by ISG Inc. includes installation of silt fence or sediment log perimeter control, rock construction entrance, erosion control blanket, weekly inspection, placement of a minimum of 6 inches of topsoil, decompaction of areas compacted during construction, and retention of native topsoil onsite. To conform to the RPBCWD Rule C requirements the following revisions are needed:

- C1. The Applicant must provide the name and contact information of the individual responsible for erosion control at the site. RPBCWD must be notified if the responsible individual changes during the permit term.

Rule J: Stormwater Management

Because the project will alter 0.96 acres of land-surface area, the project must meet the criteria of RPBCWD's Stormwater Management rule (Rule J, Subsection 2.1). Under paragraph 2.5 of Rule J, common scheme of development, activities subject to Rule J on a parcel or adjacent parcels under common or related ownership must be considered in the aggregate, and the requirements applicable to the activity under the rule must be determined with respect to all development that has occurred on the site or on adjacent sites under common or related ownership since the date the rule took effect (January 1, 2015). Because another project has been permitted since the rules took effect (RPBCWD Permit 2016-004), the current activities proposed must be considered in aggregate with the activities proposed under this application.

The criteria listed in Subsection 3.1 only apply to the disturbed areas and additional impervious surface on the project site because the proposed activity, aggregated with the prior-permitted activity, will not disturb more than 50 percent of the existing impervious surface and increase the impervious surface on the parcel by less than 50 percent(Rule J, Subsection 2.3).

The project proposes an infiltration basin to provide volume control, water quality, and rate control. The new recreation building will also incorporate a green roof and solar panels. Approximately 736 square feet of the proposed building roof will be vegetated using a sedum mix. This green roof provides pretreatment for roof runoff and will improve water quality.

Rate Control

In order to meet the rate control criteria listed in Subsection 3.1.a, the 2-, 10-, and 100-year post development peak runoff rates must be equal to or less than the existing discharge rates at all locations where stormwater leaves the site. The Applicant used a HydroCAD hydrologic model to simulate runoff rates for pre- and post-development conditions for the 2-, 10-, and 100-year frequency storm events using a nested rainfall distribution, and a 100-year frequency, 10-day snowmelt event. The existing and proposed 2-, 10-, and 100-year frequency discharges from the site are summarized in the table below.

Modeled Discharge Location	2-Year Discharge (cfs)		10-Year Discharge (cfs)		100-Year Discharge (cfs)		10-Day Snowmelt (cfs)	
	Ex	Prop	Ex	Prop	Ex	Prop	Ex	Prop
Flow to Round Lake	1.3	0.5	2.0	0.7	4.4	3.1	2.2	2.2

The proposed stormwater management plan will provide rate control in compliance with the RPBCWD requirements for the 2-, 10-, and 100-year events. Thus, the proposed project meets the rate control requirements in Rule J, Subsection 3.1a.

Volume Abstraction

Subsection 3.1.b of Rule J requires the abstraction onsite of 1.1 inches of runoff from the new and disturbed impervious surface of the parcel. An abstraction volume of 919 cubic feet is required from the proposed 0.23 acres of regulated impervious area. Plans indicate pretreatment for runoff entering the infiltration basin is provided by a green roof and grass overland flow, thus the proposed project conforms with RPBCWD Rule J, Subsection 3.1b.1.

Soil borings performed by Braun Intertec show that soils in the project area are typically silty sand and poorly graded sand. Groundwater was not observed in the soil boring within the footprint of the proposed system (SB-15). Braun Intertec states that groundwater will be influenced by the seasonal level of Round Lake, which has a general water surface near elevation 881 according to the MN DNR. The subsurface

investigation information summarized in the table below supports a determination that groundwater is at least 3 feet below the bottom of the proposed infiltration basin (Rule J, Subsection 3.1.b.2.a).

Proposed BMP	Nearest Subsurface Investigation	Boring is within footprint?	Groundwater Elevation (feet)	BMP Bottom Elevation (feet)	Separation (feet)
Infiltration Basin	SB-15	Yes	No groundwater observed at boring bottom (approx. el 882.9ft)	888.75	5.85

Double ring infiltrometer testing results provided by Braun Intertec on July 25, 2022 show an average infiltration rate of 0.7 inches per hour (in/hr) beneath the proposed stormwater management feature. The engineer concurs with the applicant’s design infiltration rates of 0.7 inches per hour. The proposed stormwater facility provides adequate surface area (900 SF) to drawdown the abstraction volumes within the required 48-hour period, thus conforming with Rule J, Subsection 3.1.b.3.

The table below summarizes the volume abstraction required and the volume abstraction achieved by the proposed stormwater management facilities on site.

The engineer concurs with the submitted information and finds that the proposed project will conform with Rule J, Subsection 3.1.b.

Required Abstraction Depth (inches)	Required Abstraction Volume (cubic feet)	Provided Abstraction Depth (inches)	Provided Abstraction Volume (cubic feet)
1.1	919	3.7	3,077

Water Quality Management

Subsection 3.1.c of Rule J requires the Applicant to provide volume abstraction in accordance with 3.1b or least 60 percent annual removal efficiency for total phosphorus (TP), and at least 90 percent annual removal efficiency for total suspended solids (TSS) from site runoff, and no net increase in TSS or TP loading leaving the site from existing conditions. Because the infiltration basin proposed by the applicant provides volume abstraction meeting the standard in 3.1b and the engineer concurs with the modeling, under paragraph 3.1.c.i, the engineer finds that the proposed project provides the required stormwater-quality protection.

Low floor Elevation

All new buildings must be constructed such that the lowest floor is at least two feet above the 100-year high water elevation or one foot above the emergency overflow of a stormwater-management facility

according to Rule J, Subsection 3.6a. In addition, a stormwater-management facility must be constructed at an elevation that ensures that no adjacent habitable building will be brought into noncompliance with this requirement according to Rule J, Subsection 3.6b.

The low floor elevation of the proposed Round Lake Park recreational building and the emergency overflow elevation of the infiltration basin are summarized below. Because the low floor elevations of the proposed structure are more than one foot above the emergency overflow of the stormwater facility, the proposed project is in conformance with Rule J, Subsection 3.6.

Proposed Building Low Floor Elevation (ft)	Stormwater Facility	100-Year Elevation in Stormwater Facility (ft)	Emergency Overflow Elevation of Stormwater Facility (ft)	Freeboard to Emergency Overflow (ft)
892.6	Infiltration Basin	890.8	890.78	1.82

Maintenance

Subsection 3.7 of Rule J requires the submission of a maintenance plan. All stormwater management structures and facilities must be designed for maintenance access and properly maintained in perpetuity to assure that they continue to function as designed. Because the applicant entered into a programmatic maintenance agreement with RPBCWD to cover maintenance requirement associated with city projects, including stormwater facility maintenance, staff must add the project to the inventory of those to be maintained under the terms of the agreement to conform to Subsection 3.7 of Rule J.

Wetland Protection

Because runoff from this site is tributary to Round Lake and is not tributary to any wetland, Rule J, subsection 3.10 does not impose any requirements on the project.

Chloride Management

Subsection 3.8 of Rule J requires the submission of chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan. The City of Eden Prairie provided its chloride management plan and its designated state-certified chloride applicator is Eden Prairie’s Streets Division Manager Larry Doig, conforming with Rule J, subsection 3.8.

Applicable General Requirements:

1. The RPBCWD Administrator and Engineer shall be notified at least three days prior to commencement of work.
2. Construction must be consistent with the plans, specifications, and models that were submitted by the applicant that were the basis of permit approval. The date(s) of the approved plans, specifications, and modeling are listed on the permit. The grant of the permit does not in any way relieve the permittee, its engineer, or other professional consultants of responsibility for the permitted work.

3. The grant of the permit does not relieve the permittee of any responsibility to obtain approval of any other regulatory body with authority.
4. The issuance of this permit does not convey any rights to either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
5. In all cases where the doing by the permittee of anything authorized by this permit involves the taking, using or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee, before proceeding therewith, must acquire all necessary property rights and interest.
6. RPBCWD's determination to issue this permit was made in reliance on the information provided by the applicant. Any substantive change in the work affecting the nature and extent of applicability of RPBCWD regulatory requirements or substantive changes in the methods or means of compliance with RPBCWD regulatory requirements must be the subject of an application for a permit modification to the RPBCWD.
7. If the conditions herein are met and the permit is issued by RPBCWD, the applicant, by accepting the permit, grants access to the site of the work at all reasonable times during and after construction to authorized representatives of the RPBCWD for inspection of the work.

Findings

1. The proposed project includes the information necessary, plan sheets and erosion control plan for review.
2. The proposed project conforms to Rule J requirements and will conform to Rule C, if the Rule Specific Permit Conditions listed above are met.

Recommendation:

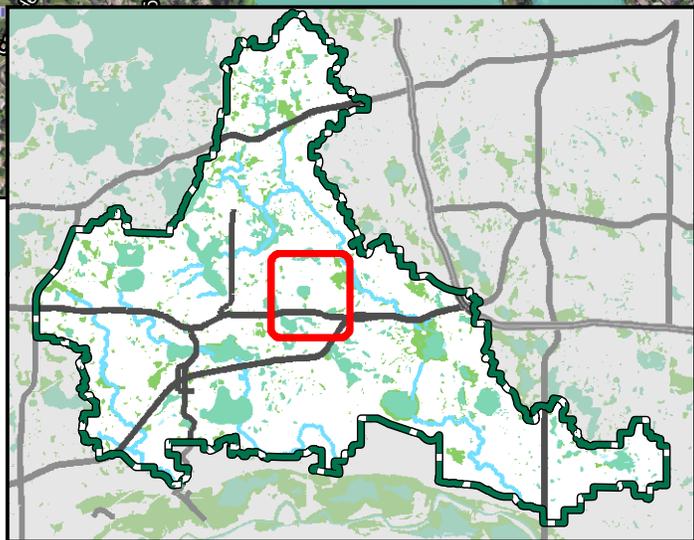
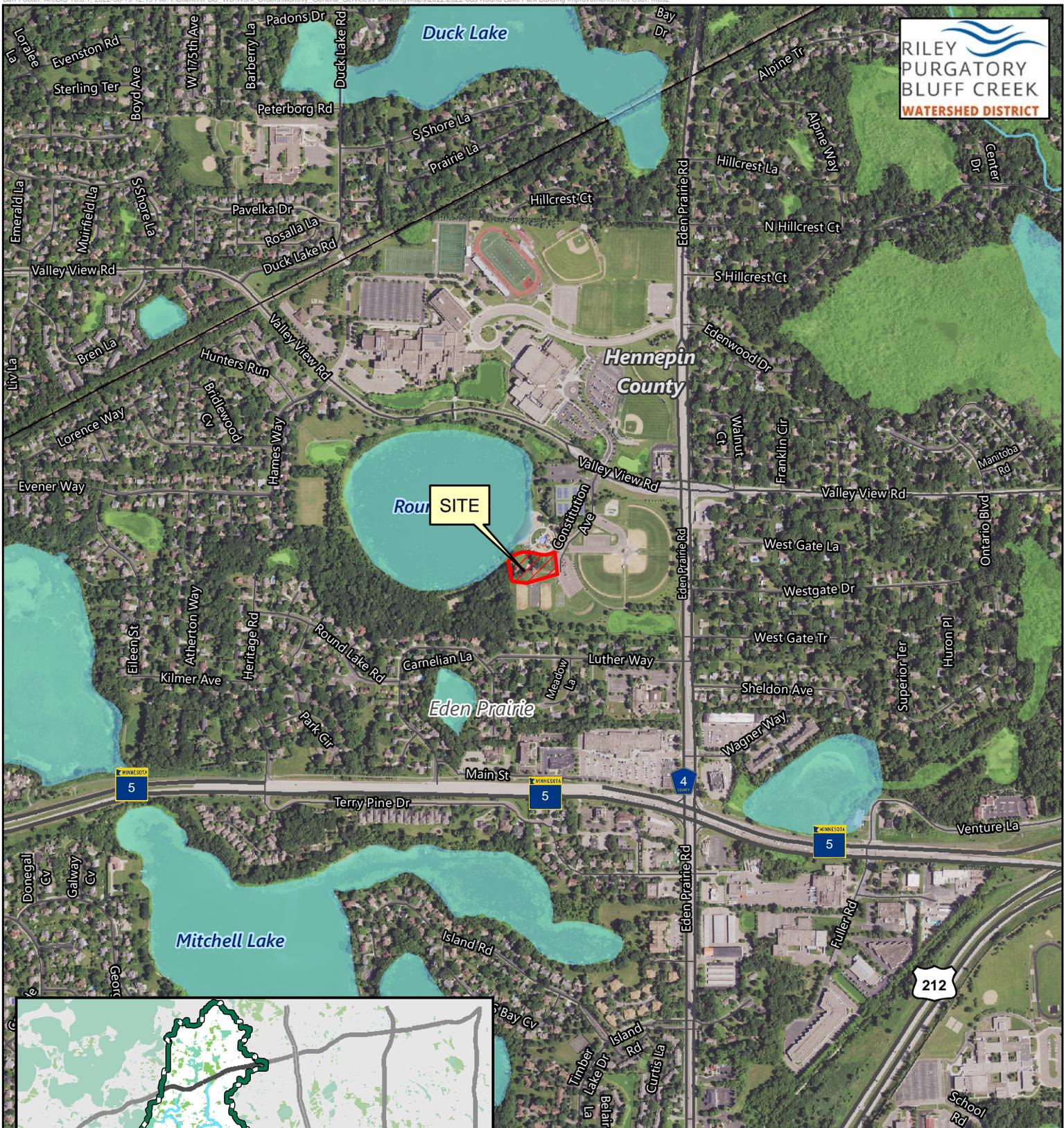
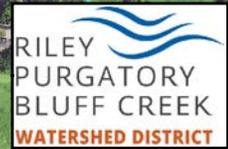
Approval of the permit contingent upon:

1. Permit applicant must provide the name and contact information of the general contractor responsible for the site. RPBCWD must be notified if the responsible party changes during the permit term.

By accepting the permit, when issued, the applicant agrees to the following stipulations:

1. Continued compliance with General Requirements.
2. Per Rule J Subsection 4.5, upon completion of the site work, the permittee must submit as-built drawings demonstrating that at the time of final stabilization the stormwater management facility conforms to design specifications and functions as intended and approved by the District. As-built/record drawings must be signed by a professional engineer licensed in Minnesota and include, but not limited to:
 - a) the surveyed bottom elevations, water levels, and general topography of all facilities;
 - b) the size, type, and surveyed invert elevations of all stormwater facility inlets and outlets;

- c) the surveyed elevations of all emergency overflows including stormwater facility, street, and other;
 - d) other important features to show that the project was constructed as approved by the Managers and protects the public health, welfare, and safety.
3. Providing the following additional close-out materials:
- a) Documentation that constructed infiltration facility performs as designed. This may include infiltration testing, flood testing, or other with prior approval from RPBCWD
 - b) Documentation that disturbed pervious areas remaining pervious have been decompacted per Rule C.2c criteria



Feet



Permit Location Map

ROUND LAKE PARK
BUILDING IMPROVEMENTS
Permit 2022-065
Riley Purgatory Bluff Creek
Watershed District



NOTE:
THE CLARITY OF THESE PLANS DEPENDS ON THE QUALITY OF THE PRINTING PROCESS. THIS IS NOT AN ORIGINAL PLAN SET AND MAY RESULT IN MISINTERPRETATION.

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DATE: 10/06/2022
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO.: 22-28765
 CLIENT PROJECT NO.: 10404002

**CITY OF EDEN PRAIRIE
 ROUND LAKE PARK BUILDING**

REVISION NO.	DESCRIPTION
1	WATER SHIELD SUBMITTAL 2
2	ADDITIONAL 2

SITE DETAILS

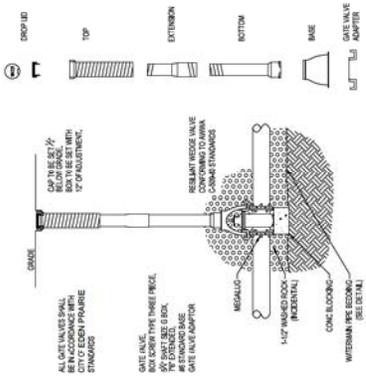
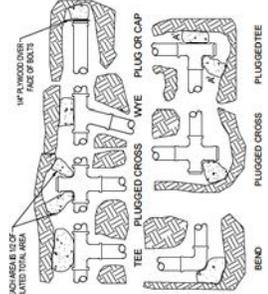
C0-10

THRUST BLOCK BEARING (SF) TABLE

NOMINAL FITTING SIZE INCHES	TEE OR PLUGGED CROSS	90 BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4	1.4	1.4	1.4	1.4	1.4
6	2.1	2.1	2.1	2.1	2.1
8	3.1	3.1	3.1	3.1	3.1
10	4.4	4.4	4.4	4.4	4.4
12	6.1	6.1	6.1	6.1	6.1
14	8.4	8.4	8.4	8.4	8.4
16	11.4	11.4	11.4	11.4	11.4
18	15.4	15.4	15.4	15.4	15.4
20	20.4	20.4	20.4	20.4	20.4
24	28.4	28.4	28.4	28.4	28.4

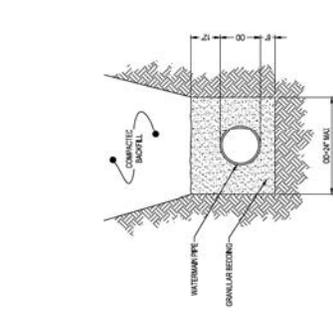
- NOTES**
- CONCRETE THRUST BLOCKS TO BE FOURS ACROSS AND REINFORCED WITH #4 BARS.
 - KEEP CONCRETE CLEAR OF JOINTS AND ACCESSORIES.
 - IF NOT SHOWN ON PLANS, REQUIRED BEARING AREAS AS INDICATED ABOVE, ADJUST NECESSARILY TO CONFORM TO THE TEST PRESSURES AND ALLOWABLE SOIL BEARING STRESS.
 - BLOCKING SHALL BE CONFORM TO THE TEST PRESSURES AND ALLOWABLE SOIL BEARING STRESS.
 - ADJUST BEARING AREAS BASED ON TEST PRESSURES OF 150 PSF AND ALLOWABLE SOIL BEARING STRESS OF 2000 LBS PER SQ FT. COMPLETE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING USE THE FOLLOWING EQUATION: BEARING AREA = TEST PRESSURE / ALLOWABLE SOIL BEARING STRESS. THESE VALUES ARE APPROXIMATE.

WATERMAIN THRUST BLOCKING



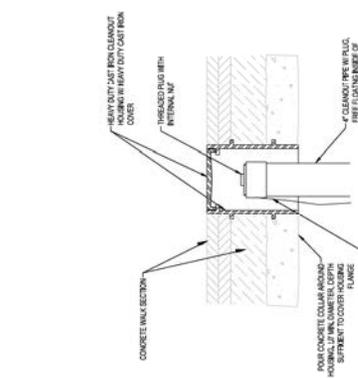
- NOTES:**
- INSTALL TOP NUT EXTENDING TO 7" DEPTH ON ALL VALVES WITH OVERDEPTH.

TYPICAL GATE VALVE & BOX INSTALLATION



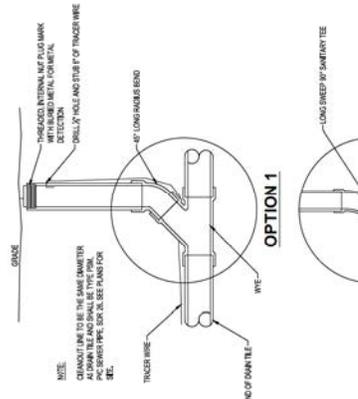
- NOTE:**
- GRAVELLAR BEDDING AND ENCASUREMENT FOR WATERMAIN PIPES SHALL BE INCIDENTAL TO CONSTRUCTION.

PIPE BEDDING WATER MAIN



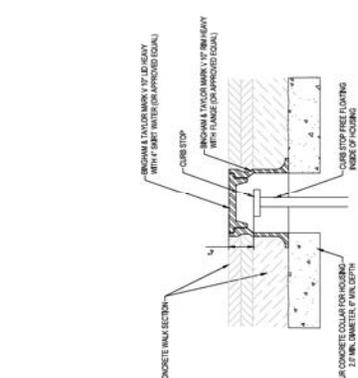
- NOTES:**
- CONCRETE CURB SHALL BE 12" MIN. THICK AND 12" MIN. DEEP.
 - CONCRETE CURB SHALL BE REINFORCED WITH #4 BARS.
 - CONCRETE CURB SHALL BE FINISHED WITH A BROOM FINISH.

HEAVY-DUTY SANITARY CLEANOUT



- NOTES:**
- CONCRETE CURB SHALL BE 12" MIN. THICK AND 12" MIN. DEEP.
 - CONCRETE CURB SHALL BE REINFORCED WITH #4 BARS.
 - CONCRETE CURB SHALL BE FINISHED WITH A BROOM FINISH.

TYPICAL SANITARY CLEANOUT



- NOTES:**
- CONCRETE CURB SHALL BE 12" MIN. THICK AND 12" MIN. DEEP.
 - CONCRETE CURB SHALL BE REINFORCED WITH #4 BARS.
 - CONCRETE CURB SHALL BE FINISHED WITH A BROOM FINISH.

HEAVY-DUTY CURB STOP HOUSING

REV: 03/01/2009
 DETAIL NO. S-8
TYPICAL BUILDING SERVICE
 CITY OF EDEN PRAIRIE
 DEPARTMENT OF ENGINEERING





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NOTE:
 THE CLARITY OF THESE PLANS DEPENDS UPON THE CLARITY OF THE ORIGINAL PLAN SET AND MAY RESULT IN MISINTERPRETATION.

THESEY CERTIFY THAT THE PLAN SPECIFICATION ON THESE PLANS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

REESE A. SUJOTELO

DATE: 10/26/2022 LIC. NO.: 45243

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DATE: LIC. NO.

CITY OF EDEN PRAIRIE

ROUND LAKE PARK BUILDING

EDEN PRAIRIE MINNESOTA

REVISION SCHEDULE

NO.	DESCRIPTION	BY
01	ISSUED FOR PERMIT	RE
02	ISSUED FOR PERMIT	RE
03	ISSUED FOR PERMIT	RE
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PROJECT NO. 22-28795

FILE NAME: 28795 COORDINATES

DRAWN BY: RE

CHECKED BY: RE

REVIEWED BY: RE

ORIGINAL ISSUE DATE: 10/26/2022

CLIENT PROJECT NO.:

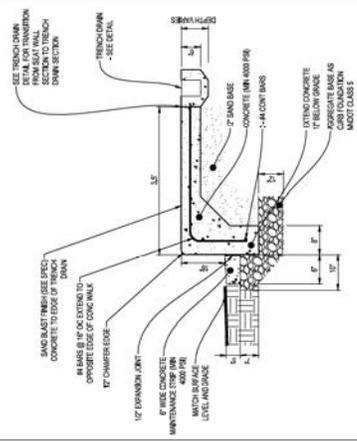
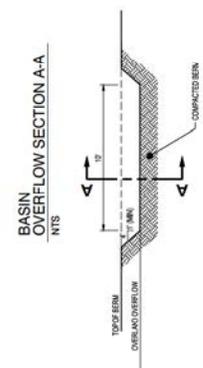
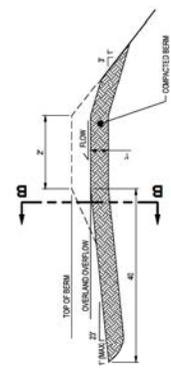
SITE DETAILS

TITLE

C0-12

SHEET

NOTE:
 ELEVATIONS FOR SPECIFIC BASIN CROSS SECTION DETAIL. ALL OVERLAYS SHALL BE SEEDED - SEE PLANTING PLAN FOR DETAILS.



INFILTRATION BASIN CONSTRUCTION

A. The contractor shall construct the infiltration basin in accordance with the specifications and details shown on these plans. The infiltration basin shall be constructed to meet the design flow rate and shall be capable of handling peak flows. The infiltration basin shall be constructed to meet the design flow rate and shall be capable of handling peak flows. The infiltration basin shall be constructed to meet the design flow rate and shall be capable of handling peak flows.

B. The contractor shall ensure that the infiltration basin is not used as a sediment trap during construction and that no soil enters the basin prior to the completion of construction and completion of seeding and mulching. The infiltration basin shall be constructed to meet the design flow rate and shall be capable of handling peak flows.

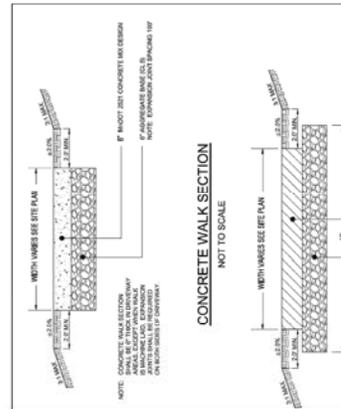
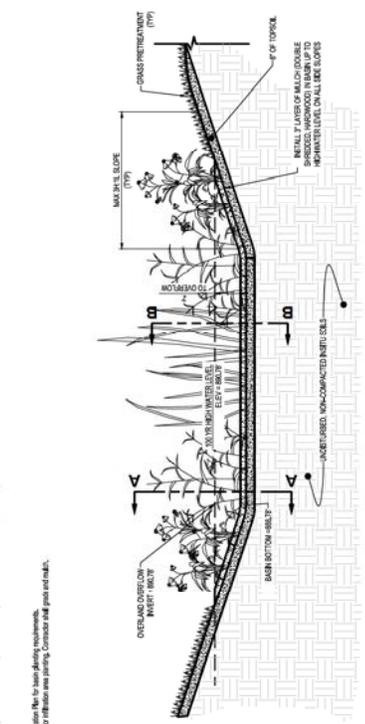
C. The contractor shall ensure that the infiltration basin is not used as a sediment trap during construction and that no soil enters the basin prior to the completion of construction and completion of seeding and mulching. The infiltration basin shall be constructed to meet the design flow rate and shall be capable of handling peak flows.

D. The contractor shall ensure that the infiltration basin is not used as a sediment trap during construction and that no soil enters the basin prior to the completion of construction and completion of seeding and mulching. The infiltration basin shall be constructed to meet the design flow rate and shall be capable of handling peak flows.

E. The contractor shall ensure that the infiltration basin is not used as a sediment trap during construction and that no soil enters the basin prior to the completion of construction and completion of seeding and mulching. The infiltration basin shall be constructed to meet the design flow rate and shall be capable of handling peak flows.

F. The contractor shall ensure that the infiltration basin is not used as a sediment trap during construction and that no soil enters the basin prior to the completion of construction and completion of seeding and mulching. The infiltration basin shall be constructed to meet the design flow rate and shall be capable of handling peak flows.

INFILTRATION BASIN
 NTS



TYPICAL WALKWAY SECTION

R-16

CITY OF EDEN PRAIRIE
 DEPARTMENT OF ENGINEERING

REV 07/16/2019
 DETAIL NO.

CONCRETE SEATWALL / SIDEWALK
 NTS

CONCRETE PATIO
 NTS

CONCRETE STAIR WITH RAILING
 NTS

NOTES:
 ALL COMPONENTS OF RAILING AND SUPPORTS SHALL BE SHOP PRIMED AND POWDER COATED. COORDINATE COLOR WITH OWNER. SEE DETAIL FOR TYPICAL RAILING. SEE PLAN FOR NUMBER OF REBAR USED IN EACH SECTION.



NOTE:
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DATE: 10/26/2022
 LIC. NO.: 56343
 PROJECT: ROUND LAKE PARK BUILDING
 CLIENT: CITY OF EDEN PRAIRIE, MINNESOTA

PROJECT: CITY OF EDEN PRAIRIE
 ROUND LAKE PARK BUILDING
 EDEN PRAIRIE, MINNESOTA

REVISION SCHEDULE
 DATE DESCRIPTION BY
 10/26/22 WATER SHED SUBMITTAL 2 BCT
 10/19/22 ADDENDUM 2 BCT

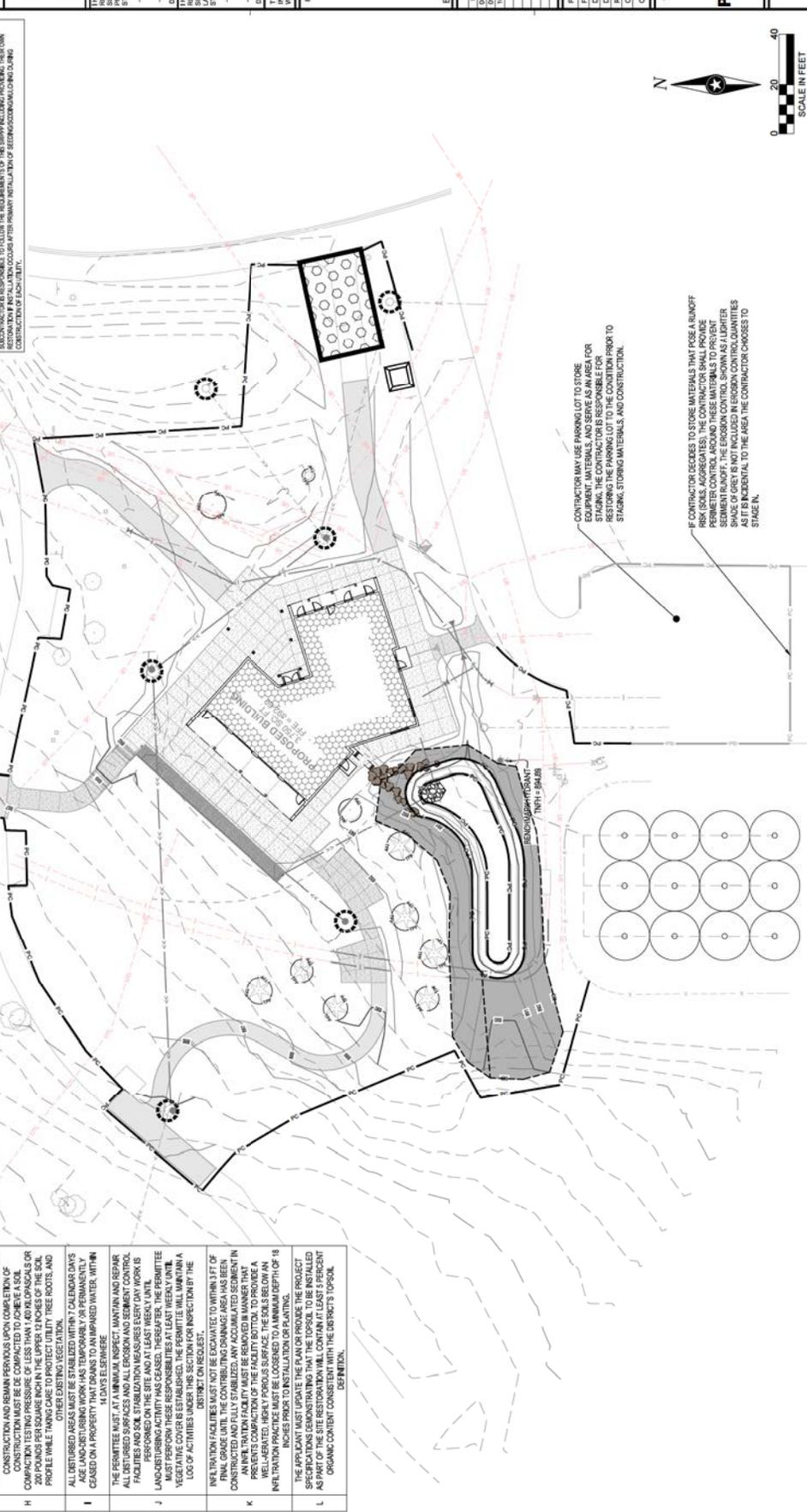
PROJECT NO.: 22-287916
 FILE NAME: 287916 C1 SWPPP
 DRAWN BY: BCT
 CHECKED BY: BCT
 ORIGINAL ISSUE DATE: 10/04/2022
 CLIENT PROJECT NO.:

TITLE: **STORMWATER POLLUTION PLAN (SWPPP)**
 SHEET: **C1-30**

SYMBOL	DESCRIPTION
PC	PERMETER CONTROL
ES	EROSION CONTROL MAT
ES	EROSION CONTROL BLANKET
ES	CONCRETE WALKOUT AREA
ES	EROSION CONTROL BLANKET CATEGORY 20
ES	PROPOSED DRAINAGE ARROW
ES	EXISTING CONTOUR (MAJOR INTERVAL)
ES	PROPOSED CONTOUR (MAJOR INTERVAL)
ES	PROPOSED CONTOUR (MINOR INTERVAL)
ES	TREE PROTECTION FENCE

ITEM NO.	DESCRIPTION	UNITS	QUANTITY
251102	PROPOSED EROSION CONTROL MAT PROTECTION	SQ. FT.	6
251101	PROPOSED CONSTRUCTION BLANKET	SQ. FT.	1
251103	PROPOSED CONCRETE WALKOUT AREA	SQ. FT.	1
251104	PROPOSED EROSION CONTROL BLANKET CATEGORY 20	SQ. FT.	1

QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN AND DO NOT GUARANTEE THE ACTUAL QUANTITIES REQUIRED.



CONTRACTOR MAY USE PARKING LOT TO STORE EQUIPMENT, MATERIALS, AND SERVE AS AN AREA FOR STAGING. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING THE PARKING LOT TO THE CONDITION PRIOR TO STAGING, STORING MATERIALS, AND CONSTRUCTION.

IF CONTRACTOR DECIDES TO STORE MATERIALS THAT POSE A RISK OF EROSION, THE CONTRACTOR SHALL INSTALL PERIMETER CONTROL AROUND THESE MATERIALS TO PREVENT SEDIMENT RUNOFF. THE EROSION CONTROL SHOWN AS A LIGHTER SHADE OF GREY IS NOT INCLUDED IN EROSION CONTROL QUANTITIES AS IT IS INCIDENTAL TO THE AREA THE CONTRACTOR CHOOSES TO STAGE IN.

- EROSION CONTROL NOTES**
- A. NATURAL TOPOGRAPHY AND SOIL CONDITIONS MUST BE PROTECTED, INCLUDING RETENTION (ON SITE OF NATIVE TOPSOIL) TO THE GREATEST EXTENT POSSIBLE.
 - B. ADDITIONAL MEASURES, SUCH AS HYDRAULIC MULCHING AND OTHER PREVENTIVE MEASURES, SHALL BE INSTALLED TO PREVENT EROSION OF 3:1 (H:V) OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
 - C. FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST 8% INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
 - D. CONSTRUCTION TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE MUST BE PROPERLY MANAGED.
 - E. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENT TO PROTECT THE SITE, AS DETERMINED BY THE DISTRICT.
 - F. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED UPON FINAL STABILIZATION.
 - G. SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE RECOMPACTED TO A MINIMUM OF 100 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF THE SOIL. PROFILE WHILE TAKING CARE TO PROTECT UTILITIES, TREE ROOTS, AND OTHER EXISTING VEGETATION.
 - H. PREVIOUSLY COMPACTED SOIL SURFACES THAT ARE EXPOSED DURING CONSTRUCTION MUST BE RECOMPACTED TO A MINIMUM OF 100 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF THE SOIL. PROFILE WHILE TAKING CARE TO PROTECT UTILITIES, TREE ROOTS, AND OTHER EXISTING VEGETATION.
 - I. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 14 CALENDAR DAYS OF CEASING WORK THAT DRAINS TO AN IMPAIRED WATER BODY WITHIN 14 DAYS ELSEWHERE.
 - J. THE GRADIENTS MUST BE MAINTAINED AND SEPARATE FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-RESTORING ACTIVITY HAS COMPLETED. THEREAFTER, THE PERMITTEE VEGETATIVE COVER IS ESTABLISHED. THE PERMITTEE SHALL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.
 - K. INFILTRATION FACILITIES MUST NOT BE EQUIVALENT TO WITHIN 3 FT. OF THE SURFACE AND MUST BE FULLY STABILIZED. ANY ACCUMULATED SEDIMENT IN AN INFILTRATION FACILITY MUST BE REMOVED IN A MANNER THAT PREVENTS COMPACTING OF THE FACILITY BOTTOM. TO PROVIDE A MINIMUM OF 18 INCHES PRIOR TO INSTALLATION OR PLANTING.
 - L. THE APPLICANT MUST UPDATE THE PLAN OR PROVIDE THE PROJECT SPECIFICATIONS DEMONSTRATING THAT THE TOPSOIL TO BE INSTALLED AS PART OF THE STABILIZATION MEASURES IS OF ADEQUATE ORGANIC CONTENT CONSISTENT WITH THE DISTRICT'S TOPSOIL DEFINITION.



NOTE:
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THESEY CERTIFY THAT THE PLAN SPECIFICATION ON THESE PLANS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RESE A. SUJDELOTE
 LICENSE NO. 56343

DATE: 10/26/2022
 PROJECT: EDEN PRAIRIE
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CITY OF EDEN PRAIRIE
PRAIRIE
ROUND LAKE PARK BUILDING
 EDEN PRAIRIE MINNESOTA

DATE	DESCRIPTION	BY
10/26/22	WATER SHED SUBMITTAL 2	BCJ
10/19/22	ADDITIONAL 2	BCJ

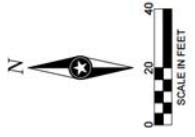
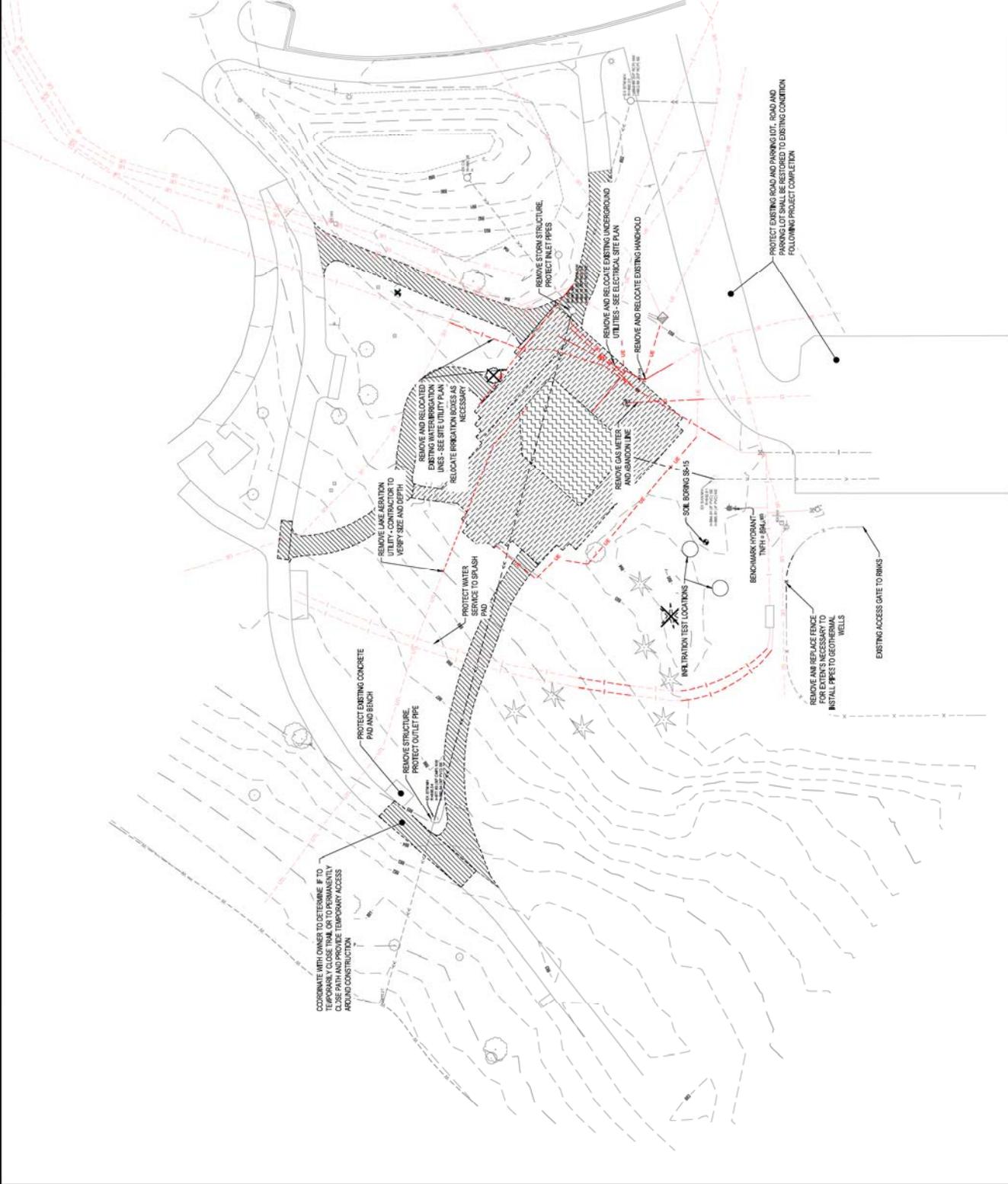
PROJECT NO.	22-28795
FILE NAME	28795_C2-EXISTING
DRAWN BY	BCJ
CHECKED BY	MS
REVIEWED BY	MS
ORIGINAL ISSUE DATE	10/26/2022
CLIENT PROJECT NO.	

EXISTING SITE AND REMOVALS

SHEET **C2-10**

SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE WALK
	DEMOLISH BUILDING
	REMOVE DECIDUOUS TREE (CLEAR AND GRUB)
	REMOVE CONIFEROUS TREE (CLEAR AND GRUB)
	REMOVE WATER LINE
	REMOVE UNDERGROUND ELECTRIC UTILITY
	REMOVE GAS LINE
	REMOVE STORM WATER UTILITY
	REMOVE LAKE AERATION UTILITY

UTILITIES IN RED ARE COINTEGRATED ON CITY OF EDEN PRAIRIE PROJECT EDITION PLANS AVAILABLE PER REQUEST. UTILITY LOCATIONS HAVE NOT BEEN VERIFIED BY SURVEY AND ARE NOT TO BE DEPENDENT ON FIELD VERIFICATION BEFORE CONSTRUCTION.





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REESE A. SUBTELOTE
 LICENSE NO. 45243

DATE: 10/06/2022 LIC. NO. 45243
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PROJECT: CITY OF EDEN PRAIRIE ROUND LAKE PARK BUILDING

EDEN PRAIRIE MINNESOTA

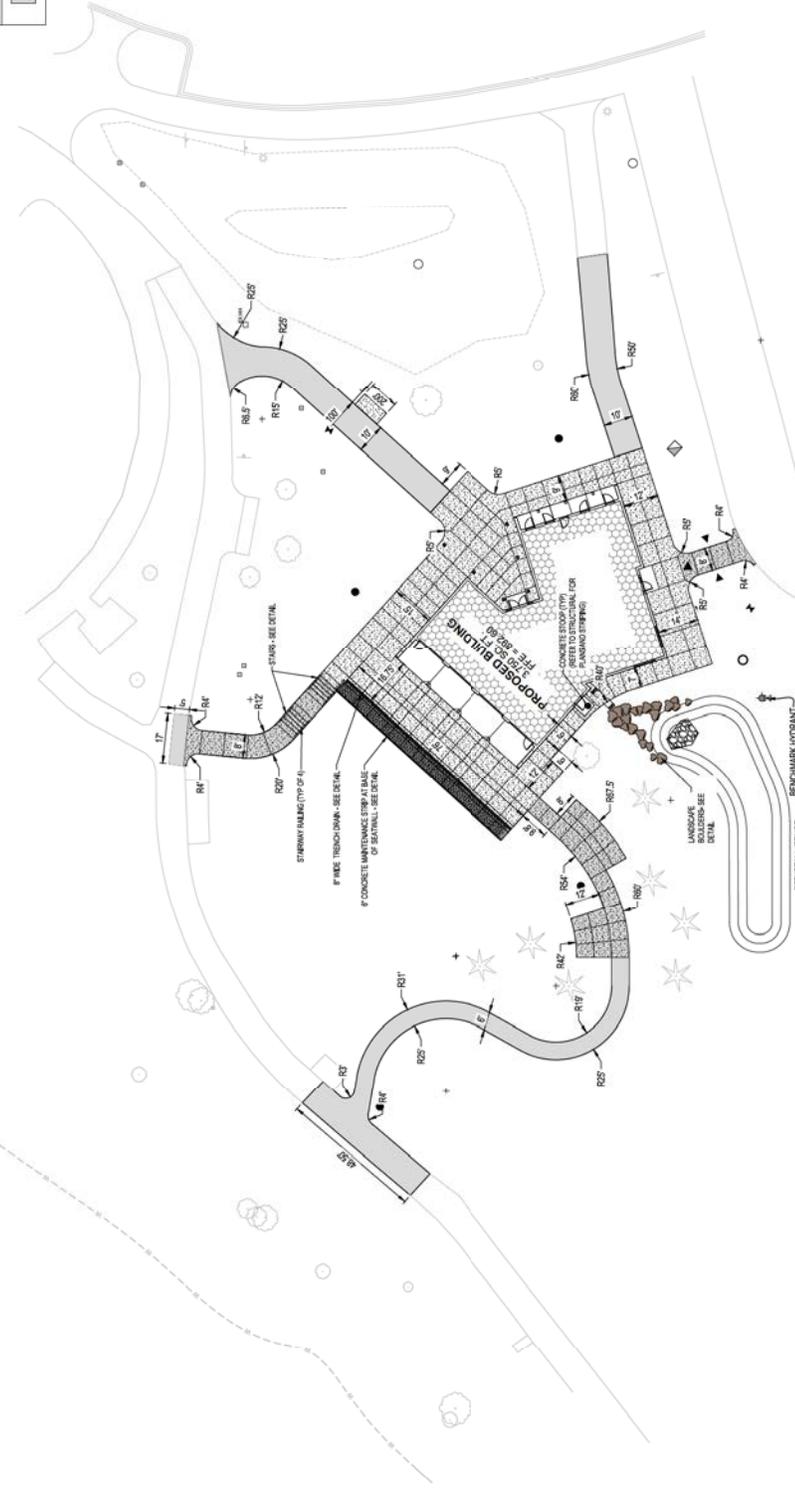
REVISION	DATE	DESCRIPTION
1	10/06/2022	WATER SHED SUBMITTAL 2
2	10/19/2022	ADDITIONAL 2

PROJECT NO: 22-28796
 FILE NAME: 28796_C3-10
 DRAWN BY: BCT
 CHECKED BY: BCT
 REVISIONS: N/A
 ORIGINAL ISSUE DATE: 10/06/2022
 CLIENT PROJECT NO.:

TITLE: PROPOSED SITE PLAN

SHEET: C3-10

SYMBOL	DESCRIPTION
	CONCRETE WALK
	CONCRETE PATH
	TURN DOWN WALK SEAT (SEE DETAIL FOR SPECIFIC FINISH)
	RETAINING WALL





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PROJECT: CITY OF EDEN PRAIRIE ROUND LAKE PARK BUILDING

EDEN PRAIRIE MINNESOTA

REVISION SCHEDULE
 DATE DESCRIPTION BY
 10/26/22 WATER SHED SUBMITTAL 2 BCT
 10/26/22 WATER SHED SUBMITTAL 2 BCT
 10/26/22 ADDENDUM 2 BCT

PROJECT NO. 22-20795
 FILE NAME 2020 CA-BUILDING
 DRAWN BY BCT
 CHECKED BY BCT
 REVISIONS BY BCT
 ORIGINAL ISSUE DATE 10/26/2022
 CLIENT PROJECT NO.

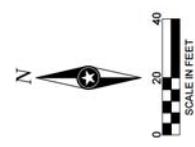
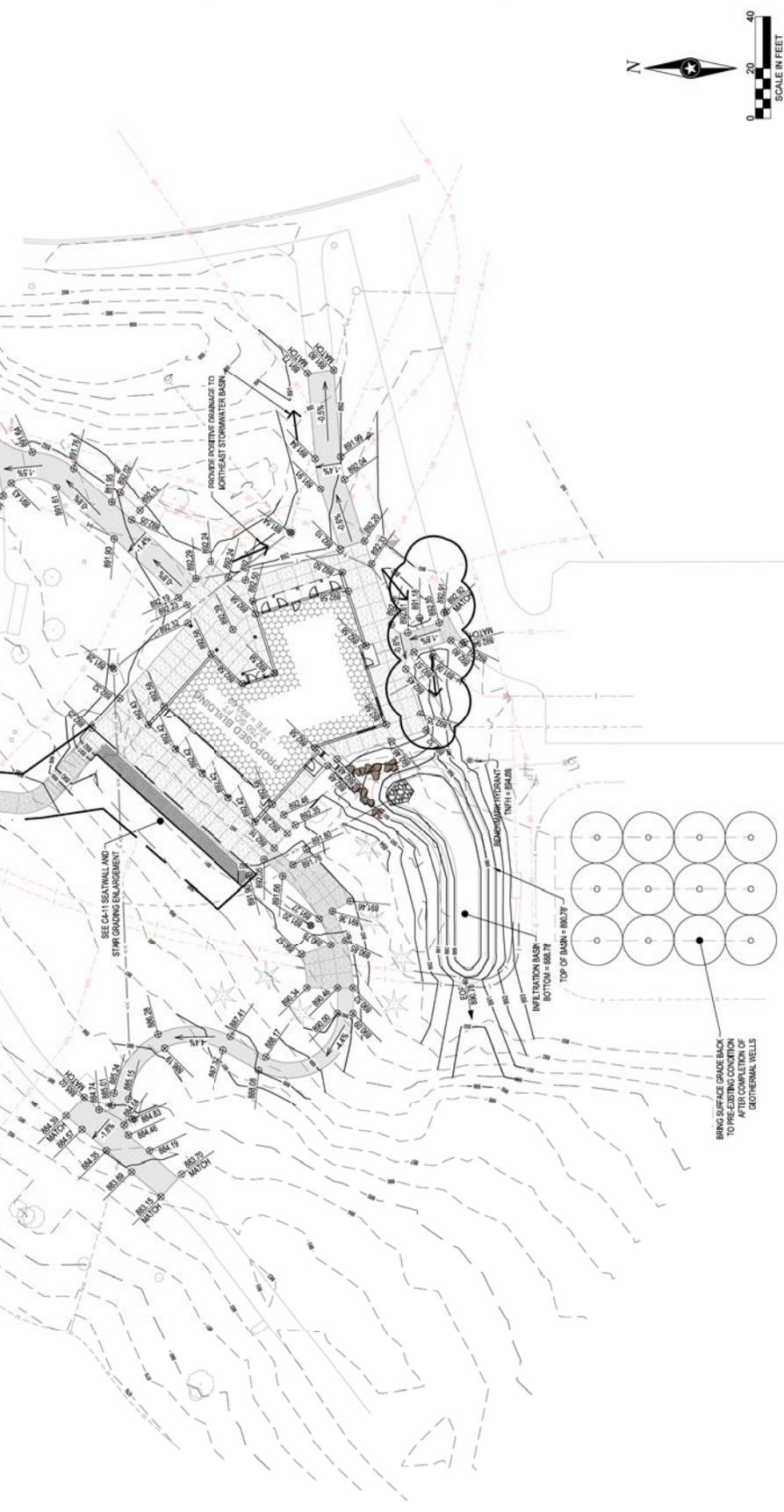
TITLE: SITE GRADING PLAN

SHEET: C4-10

GRADING LEGEND

EXISTING CONTOUR (MAJOR INTERVAL)	10'
EXISTING CONTOUR (MAJOR INTERVAL)	5'
PROPOSED CONTOUR (MAJOR INTERVAL)	10'
PROPOSED CONTOUR (MAJOR INTERVAL)	5'
PROPOSED SPOT ELEVATION	SPOT
PROPOSED TOP BANK OF CURB SPOT ELEVATION	SPOT
PROPOSED TOP OF SLOPE WALL (75% AND BOTTOM OF SPOT WALL (50%)	SPOT
SURFACE GRADE DIRECTION	→

GENERAL GRADING NOTES
 1. PROPOSED GRADING SHALL BE CONSTRUCTED TO MAINTAIN A MINIMUM 1% SLOPE TO ADJACENT DRAINAGE AREAS TO ENSURE POSITIVE DRAINAGE AND DRAINAGE.



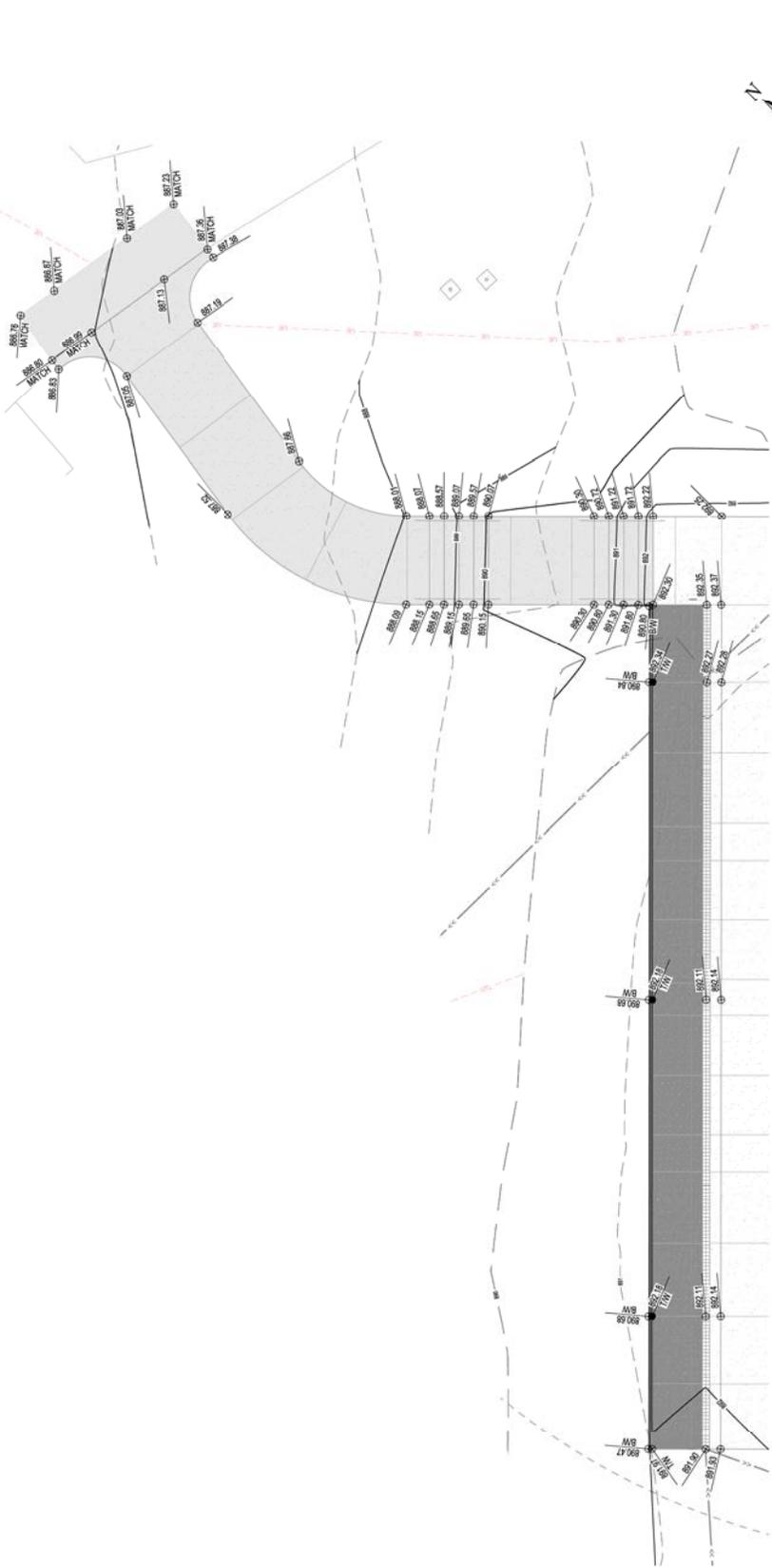


GRADING LEGEND

EXISTING CONTOUR (MAJOR INTERVAL)	10'
EXISTING CONTOUR (MAJOR INTERVAL)	5'
PROPOSED CONTOUR (MAJOR INTERVAL)	10'
PROPOSED CONTOUR (MAJOR INTERVAL)	5'
PROPOSED SPOT ELEVATION	SPOT
PROPOSED TOP BANK OF CURB SPOT ELEVATION	SPOT
PROPOSED TOP OF SEAM WALL (75% AND BOTTOM OF SPOT WALL (50%))	SPOT
SURFACE GRADE (VERTICAL)	XXX

GENERAL GRADING NOTES

PROPOSED SEAT WALL AND STAIR GRADING ENLARGEMENT ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING FOOTING WITH A HOLLOW CONC. GRADE AREAS TO ENSURE POSITIVE DRAINAGE AND DRAINAGE.



SEAT WALL AND STAIR GRADING ENLARGEMENT

NOTE:
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REESE A. SUJDELOTE

DATE: 10/06/2022 LIC. NO.: 56243
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO.: 22-20795

DATE: _____ LIC. NO.: _____
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PROJECT: CITY OF EDEN PRAIRIE

CITY OF EDEN PRAIRIE ROUND LAKE PARK BUILDING MINNESOTA

REVISION	DATE	DESCRIPTION
1	10/06/2022	WATER SHED SUBMITTAL 2
2	10/12/22	ADDITIONAL 2

PROJECT NO.: 22-20795
 FILE NAME: 2020 CA-BRANDING
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 REVISIONS: [Signature]
 ORIGINAL ISSUE DATE: 10/06/2022
 CLIENT PROJECT NO.: _____

SITE GRADING ENLARGEMENTS

SHEET: C4-11



NOTE:
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 UPON THE CLARITY OF THE ORIGINAL
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 SUPERVISION AND THAT I AM A DULY LICENSED
 LANDSCAPE ARCHITECT UNDER THE LAWS OF THE
 STATE OF MINNESOTA.

DATE: 10/04/2022 LIC. NO. 53748
 PROJECT: CITY OF EDEN PRAIRIE
 LANDSCAPE ARCHITECT UNDER THE LAWS OF THE
 STATE OF MINNESOTA
 MITCHELL R. WORKMAN
 MR. M. R. Workman

DATE: 10/04/2022 LIC. NO. 53748
 PROJECT: CITY OF EDEN PRAIRIE
 LANDSCAPE ARCHITECT UNDER THE LAWS OF THE
 STATE OF MINNESOTA
 MITCHELL R. WORKMAN
 MR. M. R. Workman

**CITY OF EDEN PRAIRIE
 ROUND LAKE PARK BUILDING
 MINNESOTA**

DATE	DESCRIPTION	BY
10/04/2022	WATERSHED SUBMITTAL 2	BC1
10/18/22	ADDITIONAL 2	BC1

REVISION SCHEDULE
 PROJECT NO. 22-28796
 FILE NAME: 2206 C3-SITE
 DRAWN BY: BC1
 CHECKED BY: MS
 REVISION DATE: 10/04/2022
 CLIENT PROJECT NO. :

**PROPOSED SITE
 FURNISHING PLAN**

SHEET
C5-30

ITEM	COUNT
1 BENCH	4
2 2-PERSON TABLE	4
3 4-PERSON TABLE	3
4 4-PERSON TABLE WITHOUT	2
5 SUNSHADE	4
6 ADIRONDACK CHAIR	1
7 PICNIC TABLE	3
8 LITTER RECEPTACLE	3
9 RECYCLING RECEPTACLE	3
10 BIKE RACK	6

