

Riley Purgatory Bluff Creek Watershed District Permit Application Review

Permit No: 2023-036

Considered at Board of Managers Meeting: December 13, 2023

Received complete: November 16, 2023

Applicant: Jerry's Enterprises, LLC.

Representative: Sambatek, Steve Troskey

Project: Chipotle - Redevelopment of the northeast parking lot at Preserve Village into a Chipotle restaurant and associated onsite parking areas in Eden Prairie, MN. The project includes an underground stormwater management facility to provide volume control, water quality, and rate control.

Location: 9625 Anderson Lakes Parkway, Eden Prairie, MN, 55344

Reviewer: Heather Lau, PE; and Scott Sobiech, PE; Barr Engineering Co.

Proposed Board Action

Manager _____ moved and Manager _____ seconded adoption of the following resolutions based on the permit report that follows and the presentation of the matter at the December 13, 2023 meeting of the managers:

Resolved that the application for Permit 2023-036 is approved, subject to the conditions and stipulations set forth in the Recommendations section of the attached report;

Resolved that on determination by the RPBCWD administrator that the conditions of approval of the permit have been affirmatively resolved, the RPBCWD president or administrator is authorized and directed to sign and deliver Permit 2023-036 to the applicant, on behalf of RPBCWD.

Upon vote, the resolutions were adopted, _____ [VOTE TALLY].

Applicable Rule Conformance Summary

Rule	Issue	Conforms to RBPCWD Rules?	Comments
C	Erosion Control Plan	See comment	See rule-specific permit conditions C1 and C2 related to restoring with topsoil containing at least 5% organic matter and name of individual responsible for on-site erosion control.
J	Stormwater Management		
	Rate	Yes	
	Volume	Yes	
	Water Quality	Yes	

Rule	Issue	Conforms to RBPCWD Rules?	Comments
	Low Floor Elev.	Yes	
	Maintenance	See comment	See rule-specific permit condition J1 related to recordation of stormwater facility maintenance declaration.
	Chloride Management	See comment	See stipulation #3 related to providing an executed chloride management plan prior to permit close-out.
L	Permit Fee Deposit	Yes	\$3,000 deposit fee received June 22, 2023. As of December 5, 2023 the amount due is \$2,700.
M	Financial Assurance	See Comment	The financial assurance is calculated at \$85,099

Background

The proposed redevelopment will include the demolition and removal of the northeast corner of the Jerry’s Foods parking lot for the construction of a Chipotle restaurant and onsite parking areas in Eden Prairie, Minnesota. The applicant proposes to use an underground stormwater management facility to provide water quality treatment, rate control, and volume abstraction. Because a prior project was permitted since the rules took effect (RPBCWD Permit 2017-073), the current activities proposed must be considered in aggregate with the activities proposed under this application for purposes of determining the applicable stormwater-management requirements.

The project site information is summarized in Table 1.

Table 1. Common Scheme of Development Summary

Site Information	Permit 2017-073	Current Permit 2023-036	Aggregate
Total Site Area (acres)	9.09	9.09	9.09
Existing Site Impervious Area (acres)	6.69	6.65	6.69
Post Construction Site Impervious (acres)	6.65	6.61	6.61
New (decrease) in Site Impervious Area (acres)	- 0.04	- 0.04	- 0.08
Percent Decrease in Impervious Surface	-0.5%	-0.5%	-1%
Disturbed Site Impervious Area (acres)	0.87	0.42	1.29
Percent Disturbance of Existing Impervious Surface	13%	6.3%	19.3%
Total Disturbed Area (acres)	1.35	0.58	1.93

Exhibits:

1. Permit application dated May 30, 2023 (Notified applicant on June 19, 2023 that submittal was incomplete, revised materials completing the application received November 16, 2023)
2. Project Narrative dated May 30, 2023
3. Project Plan set dated May 30, 2023 (revised November 16, 2023)
4. Stormwater Report dated May 26, 2023 (revised November 14, 2023)
5. Existing and Proposed HydroCAD Models received November 16, 2023
6. Review Responses dated November 14, 2023 (the applicant's responses to the June 19th incomplete notice/review comments)
7. Existing and Proposed MIDS Models received November 16, 2023
8. Chloride Management Plan received November 16, 2023

Rule Specific Permit Conditions

Rule C: Erosion Prevention and Sediment Control

Because the project will involve the alteration of 0.58 acres of land-surface area or vegetation, the applicant must provide an erosion prevention and sediment control plan meeting the requirements established in Rule C.

The erosion control plan prepared by Sambatek includes installation of perimeter control (sediment control logs and silt fence), a stabilized rock construction entrance, inlet protection, daily inspection, decompaction of areas compacted during construction, and retention of native topsoil onsite to the greatest extent possible. To conform to RPBCWD Rule C requirements, the following revisions are needed:

- C1. The applicant must provide the name, address and phone number of the individual who will remain liable to the District for performance under this rule and maintenance of erosion and sediment-control measures from the time the permitted activities commence until vegetative cover is established.
- C2. Updated plans must be submitted demonstrating that the topsoil to be installed as part of the site restoration will contain at least 5 percent organic content consistent with the District's topsoil definition.

Rule J: Stormwater Management

Because the project will disturb 0.58 acres of land-surface area, the applicant must submit a stormwater-management plan meeting the criteria of RPBCWD's Stormwater Management rule (Rule J, Subsection 2.1). Under paragraph 2.5 of Rule J, Common scheme of development, activities subject to Rule J on a parcel or adjacent parcels under common or related ownership will be considered in the aggregate, and the

requirements applicable to the activity under this rule will be determined with respect to all development that has occurred on the site or on adjacent sites under common or related ownership since the date this rule took effect (January 1, 2015). Because a prior project was permitted since the rules took effect (RPBCWD Permit 2017-073), the current activities proposed must be considered in aggregate with the activities proposed under this application for purposes of determining the applicable stormwater-management requirements.

The criteria listed in Subsection 3.1 apply to only runoff from the disturbed and reconstructed impervious areas on the project parcel because the aggregate impervious disturbance (19.3 percent) and aggregate imperviousness decrease (1 percent), do not amount to a disturbance of more than 50 percent of the impervious surface of the parcel or an increase in imperviousness area of more than 50 percent from the amount existing at the time of the 2017-073 application (Rule J, Subsection 2.3).

The applicant is proposing construction of an underground stormwater management facility to provide rate control, volume abstraction and water quality management for the disturbed and replaced impervious area.

Rate Control

In order to meet the rate control criteria listed in Subsection 3.1.a, the 2-, 10-, and 100-year post development peak runoff rates must be equal to or less than the existing discharge rates at all locations where stormwater leaves the site. The applicant used a HydroCAD hydrologic model to simulate runoff rates for pre- and post-development conditions for the 2-, 10-, and 100-year frequency storm events using a nested rainfall distribution, and a 100-year frequency, 10-day snowmelt event. The existing and proposed 2-, 10-, and 100-year frequency discharges from the site are summarized in Table 2 below. The proposed project conforms to RPBCWD Rule J, Subsection 3.1.a.

Table 2. Existing and Proposed Peak Runoff Rates

Modeled Discharge Location	2-Year Discharge (cfs)		10-Year Discharge (cfs)		100-Year Discharge (cfs)		10-Day Snowmelt (cfs)	
	Ex	Prop	Ex	Prop	Ex	Prop	Ex	Prop
East to existing storm sewer	4.1	3.8	6.4	6.3	11.6	9.9	<0.1	< 0.1

Volume Abstraction

Subsection 3.1.b of Rule J requires the abstraction onsite of 1.1 inches of runoff from the regulated impervious surface of the site. An abstraction volume of 1,677 cubic feet is required from the 0.42 acres (18,294 square feet) of regulated site impervious area on the project for volume retention. Pretreatment of runoff entering the facility is provided with an ADS isolator row within the underground stormwater management facility to conform to Rule J, Subsection 3.1.b.1.

The soil borings performed by Braun Intertec throughout the site show that soils in the project area are clay. Groundwater was not observed at any of the soil borings near the proposed underground stormwater management facility down to an elevation of approximately 853 feet. The subsurface investigation information summarized in Table 3 shows that groundwater, assumed to be at the end of the boring, is at least 3 feet below the bottom of the proposed underground stormwater management facility (Rule J, Subsection 3.1.b.2.a).

Table 3. Groundwater Separation Analysis

Proposed BMP	Nearest Subsurface Investigation	Boring is within footprint?	Groundwater Elevation (feet)	BMP Bottom Elevation (feet)	Separation (feet)
Underground Stormwater Management Facility	ST-3/ST-4	Yes	No groundwater observed at boring bottom (approx. el 853 ft)	860.73	7.73

Because the engineer concurs that the soil boring information and the Minnesota Pollution Control Agency’s recommended design infiltration rates for the underlying soils support that the abstraction standard in Subsection 3.1 of Rule J cannot practicably be met, the site is considered restricted and stormwater runoff volume must be managed in accordance with Subsection 3.3 of Rule J. For restricted sites, Subsection 3.3 of Rule J requires rate control in accordance with Subsection 3.1a and that abstraction and water quality protection be provided in accordance with the following sequence: (a) Abstraction of 0.55 inches of runoff from site impervious surface determined in accordance with paragraphs 2.3, 3.1 or 3.2, as applicable, and treatment of all runoff to the standard in paragraph 3.1c; or (b) Abstraction of runoff onsite to the maximum extent practicable and treatment of all runoff to the standard in paragraph 3.1c; or (c) Off-site abstraction and treatment in the watershed to the standards in paragraph 3.1b and 3.1c. RPBCWD’s engineer concurs with a design infiltration rate of 0.06 inches per hour based on the Minnesota Pollution Control Agency’s recommended design infiltration rates for the underlying soils. The applicant incorporated storage below the drintile in the underground stormwater management facility to promote infiltration to conform to Rule J, subsection 3.3a.

Table 4 summarizes the volume abstraction for the site.

Table 4. Volume Abstraction Summary

Required Abstraction Depth for Restricted Site (inches)	Required Abstraction Volume (cubic feet)	Provided Abstraction Depth (inches)	Provided Abstraction Volume (cubic feet)
0.55	838	0.60	910

The engineer finds that under the presumed design infiltration rate, the underground stormwater management facility will draw down within 48 hours (Rule J, subsection 3.1b.3). The geotechnical report does not contain infiltration or hydraulic conductivity testing results at the proposed underground stormwater management facility as required by Rule J, subsection 3.1.b.2.C. To confirm the design presumptions and ensure the applicant has incorporated abstraction in accordance with Rule J, subsection 3.1.b, supporting information in the form of infiltration or hydraulic conductivity testing the proposed underground stormwater management facility must be provided before the proposed BMP is constructed. If infiltration capacity is less than needed to conform with the submitted volume-abstraction performance for the proposed underground stormwater management facility or there is less than three feet of separation to groundwater, design modifications to achieve compliance with RPBCWD requirements to maximize the abstraction will need to be submitted (in the form of an application for a permit modification or new permit).

With the conditions noted above, the engineer concurs with the submitted information and finds that the proposed project will conform with Rule J, Subsection 3.3.a.

Water Quality Management

Subsection 3.1.c of Rule J requires the applicant to provide volume abstraction in accordance with 3.1b or least 60 percent annual removal efficiency for total phosphorus (TP), and at least 90 percent annual removal efficiency for total suspended solids (TSS) from site runoff, and no net increase in TSS or TP loading leaving the site from existing conditions.

The applicant is proposing an underground stormwater management facility to achieve the required TP and TSS removals and submitted a MIDS model to estimate the TP and TSS removals. The results of this modeling are summarized in Table 5 and Table 6 below showing the annual TSS and TP removal requirements are achieved and that there is no net increase in TSS and TP leaving the site. The engineer concurs with the modeling and finds that the proposed project is in conformance with Rule J, Subsection 3.1.c.

Table 5. Annual TSS and TP removal summary

Pollutant of Interest	Regulated Site Loading (lbs/yr)	Required Load Removal (lbs/yr)	Provided Load Reduction (lbs/yr)
Total Suspended Solids (TSS)	149.6	134.6 (90%)	229.4 (>100%)
Total Phosphorus (TP)	0.82	0.49 (60%)	0.65 (79%)

¹Because the stormwater facility treats runoff from the regulated disturbed area as well as unregulated areas of the site, the load reductions are larger than the regulated loading.

Table 6. Summary of net change in TSS and TP leaving the site

Pollutant of Interest	Existing Site Loading (lbs/yr)	Proposed Site Load after Treatment (lbs/yr)	Change (lbs/yr)
Total Suspended Solids (TSS)	2,341	2,106	-235
Total Phosphorus (TP)	12.89	12.19	-0.7

Low floor Elevation

All new buildings must be constructed such that the lowest floor is at least two feet above the 100-year high-water elevation or one foot above the emergency overflow of a stormwater-management facility according to Rule J, Subsection 3.6a. The lowest elevation of the nearest building and the 100-year event flood elevation in the proposed underground stormwater management facility is summarized below. The RPBCWD Engineer concurs that the proposed project is in conformance with Rule J, Subsection 3.6.

Table 7. Low Floor Evaluation

Location	Low Floor Elevation of Building (feet)	100-year Event Flood Elevation (feet)	Freeboard (feet)
Underground Stormwater Management Facility	872.10	868.16	3.94

Maintenance

Subsection 3.7 of Rule J requires the submission of maintenance plan. All stormwater management structures and facilities must be designed for maintenance access and properly maintained in perpetuity to assure that they continue to function as designed. While the applicant provided a draft post construction operation and maintenance plan for review, the following revisions are needed:

J1. Permit applicant must provide a maintenance and inspection declaration. A maintenance declaration template is available on the permits page of the RPBCWD website. (<http://www.rpbcwd.org/permits/>). A draft declaration must be provided for District review and approval prior to recording.

Chloride Management

Subsection 3.8 of Rule J requires the submission of chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan. To close out the permit and release the \$5,000 in financial assurance held for the purpose of chloride management, the permit applicant must indicate the MPCA-certified salt applicator engaged in implementing the plan at the site.

Rule L: Permit Fee Deposit:

The RPBCWD permit fee schedule adopted in February 2020 requires permit applicants to deposit \$3,000 to be held in escrow and applied to cover the \$10 permit-processing fee and reimburse RPBCWD for permit review and inspection-related costs and when a permit application is approved, the deposit must be replenished to the applicable deposit amount by the applicant before the permit will be issued to cover actual costs incurred to monitor compliance with permit conditions and the RPBCWD Rules. A permit fee deposit of \$3,000 was received on June 26, 2023. If the costs of review, administration, inspections and closeout-related or other regulatory activities exceed the fee deposit amount, the applicant will be required to replenish the deposit to the original amount or such lesser amount as the RPBCWD administrator deems sufficient within 30 days of receiving notice that such deposit is due. The administrator will close out the relevant application or permit and revoke prior approvals, if any, if the permit-fee deposit is not timely replenished.

L1. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. As of December 5, 2023 the amount due is \$2,700.

Rule M: Financial Assurance

	Unit	Unit Cost	# of Units	Total
Rule C: Erosion Control				
Perimeter Control	LF	\$2.50	275	\$688
Inlet Protection	EA	\$100	6	\$600
Rock Entrance	EA	\$250	1	\$250
Restoration	AC	\$2,500	0.58	\$1,450
Rule J: Chloride Management	LS	\$5,000	1	\$5,000
Rule J: Stormwater Management: 125% of engineer’s opinion of cost	EA	125% OPC	1	\$69,375
Contingency (10%)		10%		\$7,736
Total Financial Assurance				\$85,099

Applicable General Requirements:

1. The RPBCWD Administrator and Engineer shall be notified at least three days prior to commencement of work.
2. Construction shall be consistent with the plans and specifications approved by the District as a part of the permitting process. The date of the approved plans and specifications is listed on the permit.
3. Construction must be consistent with the plans, specifications, and models that were submitted by the applicant that were the basis of permit approval. The date(s) of the approved plans, specifications, and modeling are listed on the permit. The grant of the permit does not in any way relieve the permittee, its engineer, or other professional consultants of responsibility for the permitted work.
4. The grant of the permit will not relieve the permittee of any responsibility to obtain approval of any other regulatory body with authority.
5. The issuance of this permit will not convey any rights to either real or personal property, or any exclusive privileges, nor will it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
6. In all cases where the doing by the permittee of anything authorized by this permit involves the taking, using or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee, before proceeding therewith, must acquire all necessary property rights and interest.
7. RPBCWD's determination to approve the permit application was made in reliance on the information provided by the applicant. Any substantive change in the work affecting the nature and extent of applicability of RPBCWD regulatory requirements or substantive changes in the methods or means of compliance with RPBCWD regulatory requirements must be the subject of an application for a permit modification to the RPBCWD.
8. If the conditions herein are met and the permit is issued by RPBCWD, the applicant, by accepting the permit, grants access to the site of the work at all reasonable times during and after construction to authorized representatives of the RPBCWD for inspection of the work.

Findings

1. The proposed project includes the information necessary, plan sheets and erosion control plan for review.
2. The proposed project will conform to Rules C and J if the Rule Specific Permit Conditions listed above are met.

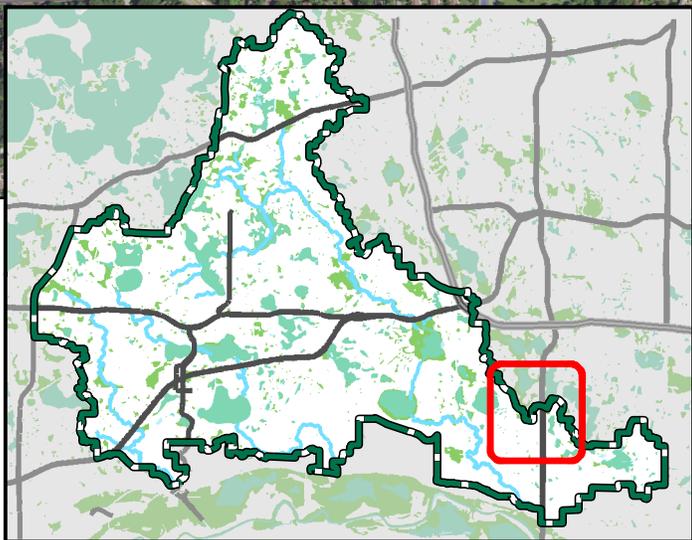
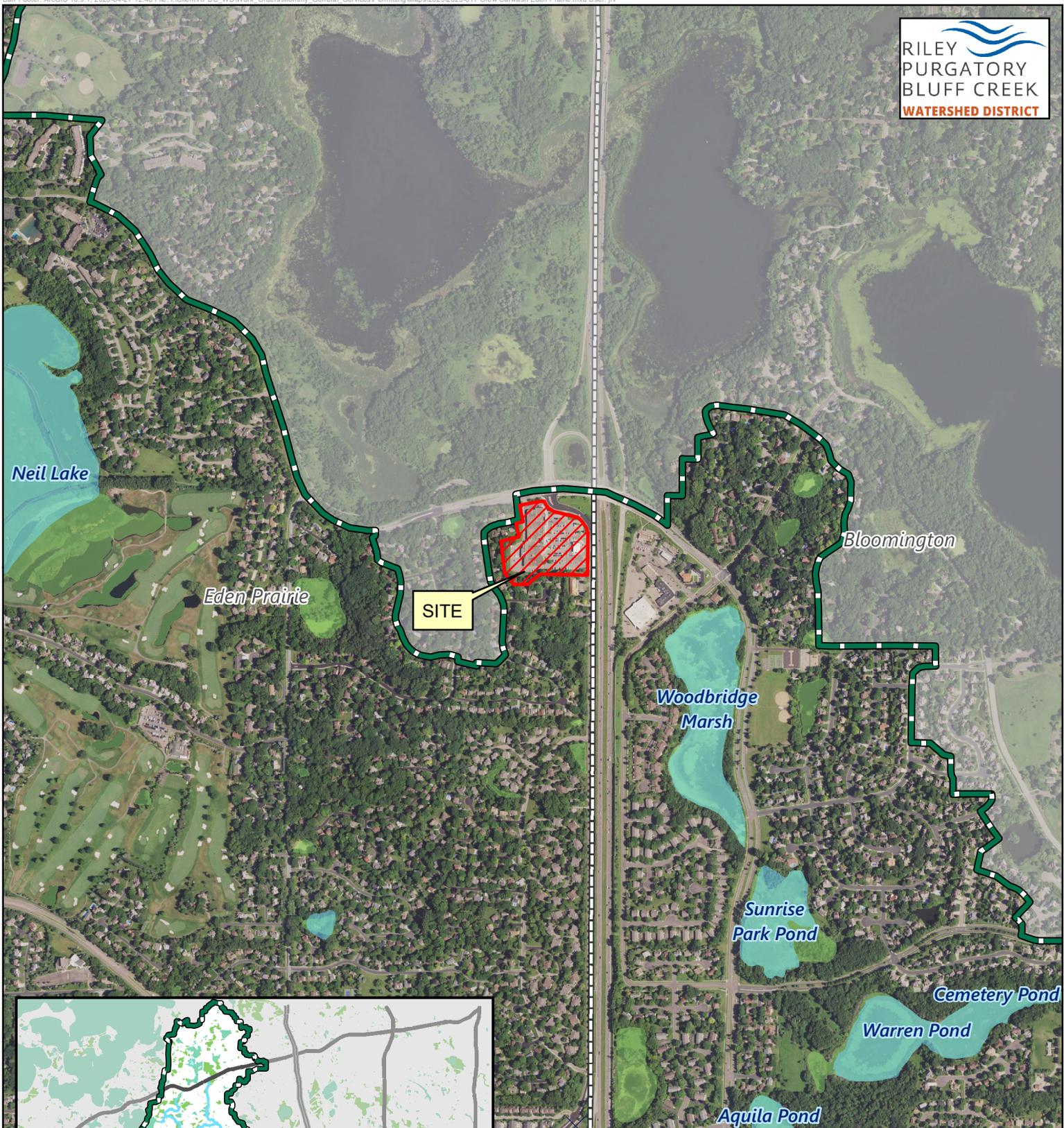
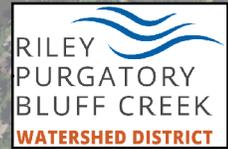
Recommendation:

Approval of the permit contingent upon:

1. Financial Assurance in the amount of \$85,099.
2. Permit applicant must provide the name and contact information of the general contractor responsible for the site. RPBCWD must be notified if the responsible party changes during the permit term.
3. Receipt of updated plans or specifications demonstrating that the topsoil to be installed as part of the site restoration will contain at least 5 percent organic content consistent with the District's topsoil definition.
4. Receipt by RPBCWD of documentation of recordation of a maintenance declaration for the stormwater management facility. A draft must be reviewed and approved by the District prior to recordation.
5. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. As of December 5, 2023 the amount due is \$2,700.

By accepting the permit, when issued, the applicant agrees to the following stipulations:

1. Continued compliance with General Requirements.
2. Per Rule J Subsection 4.5, upon completion of the site work, the permittee must submit as-built drawings demonstrating that at the time of final stabilization the stormwater management facility conforms to design specifications and functions as intended and approved by the District. As-built/record drawings must be signed by a professional engineer licensed in Minnesota and include, but not limited to:
 - a) the surveyed bottom elevations, water levels, and general topography of all facilities;
 - b) the size, type, and surveyed invert elevations of all stormwater facility inlets and outlets;
 - c) the surveyed elevations of all emergency overflows including stormwater facility, street, and other;
 - d) other important features to show that the project was constructed as approved by the Managers and protects the public health, welfare, and safety.
3. To close out the permit and release the \$5,000 in financial assurance held for the purpose of the chloride management, the permit applicant must indicate the MPCA-certified salt applicator engaged in implementing the plan at the site.
4. Per Rule J, Subsection 3.1.b.ii measured infiltration capacity of the soils at the bottom of the underground stormwater management facility must be provided. The applicant must submit documentation verifying the infiltration capacity of the soils and that the volume control capacity is calculated using the measured infiltration rate. In addition, subsurface soil investigation is needed to verify adequate separation to groundwater (Rule J subsection 3.1.b.2). If infiltration capacity is less than needed to conform with the volume abstraction requirement in subsection 3.3b or there is inadequate separation to groundwater, design modifications to achieve compliance with RPBCWD requirements will need to be submitted (in the form of an application for a permit modification or new permit).



Feet



Permit Location Map

JERRYS ENTERPRISES-CHIPOTLE
Permit 2023-036
Riley Purgatory Bluff Creek
Watershed District

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
 JERRY'S ENTERPRISES, INC.
 5101 VERNON AVENUE SOUTH
 EDINA, MN 55436
 TEL: 952-922-8335
 EMAIL: BSCHULTES@JERRYSFOODS.COM
 CONTACT: BEN SCHULTES

CIVIL ENGINEER
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 22800 WHITEWATER DRIVE, SUITE 300
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 CONTACT: BRADY BUSSELMAN

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 EMAIL: KAW@WILKUSARCH.COM
 CONTACT: KRISTIN MOAN

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 EMAIL: WSKLODES@SAMBATEK.COM
 CONTACT: MARK SALO

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 EMAIL: JWORKMAN@SAMBATEK.COM
 CONTACT: JOHNNIE WORKMAN

Preliminary Site Development Plans

for Preserve Village Eden Prairie, Minnesota

Presented by:
Jerry's Enterprises Inc.

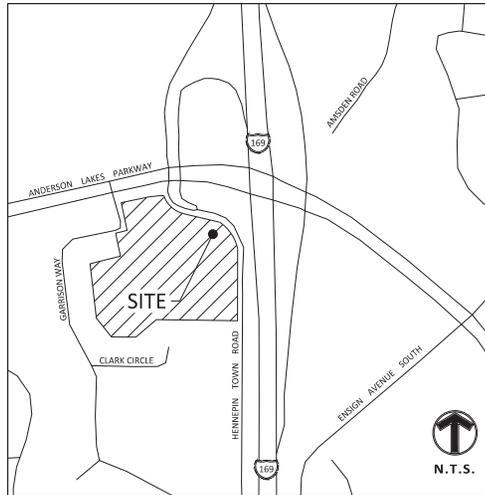
BENCHMARKS

BENCHMARK #1
 Storm Structure Rim- approximately 160 feet SW of southerly access point along the easterly boundary. ELEV = 872.48

BENCHMARK #2
 Storm Structure Rim- approximately 52 feet NW of northerly access point along the easterly boundary. ELEV = 869.32

SHEET INDEX

SHEET	DESCRIPTION
C1.01	TITLE SHEET
C2.01	EXISTING CONDITIONS
C2.02	DEMOLITION PLAN
C3.01	SITE PLAN
C4.01	GRADING PLAN
C5.01	EROSION CONTROL PHASE ONE
C5.02	EROSION CONTROL PHASE TWO
C5.03	EROSION CONTROL NOTES
C5.04	EROSION CONTROL DETAILS
C6.01	UTILITY PLAN
C9.01	DETAILS
L0.01	TREE PRESERVATION PLAN
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE NOTES & DETAILS



VICINITY MAP
 NO SCALE

GOVERNING SPECIFICATIONS

CITY OF EDEN PRAIRIE SPECIFICATIONS (2023)
 CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2023)
 MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2020 EDITION)

24.15 (AMS TECH) | ALEA,STUIZ | 11/17/2023 4:54:33 PM
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NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: BRADY BUSSELMAN

Date: _____ License # 44579

PRELIMINARY
 05/30/2023
 DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
 TPK

DESIGNED BY
 BDB

CHECKED BY
 BDB

PROJECT NO.
 51684

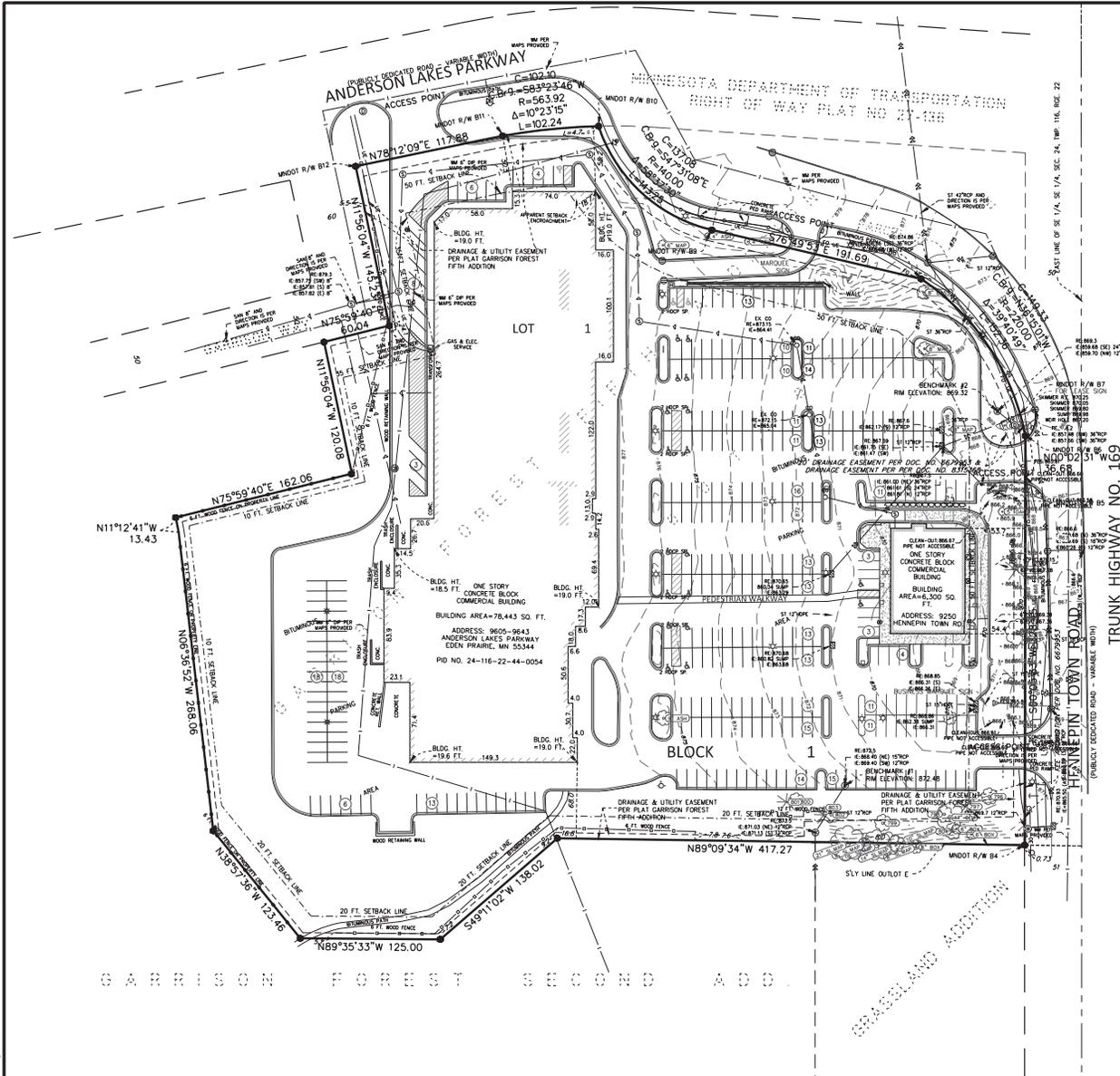


TITLE SHEET

JERRY'S ENTERPRISES, INC.
 PRESERVE VILLAGE

EDEN PRAIRIE, MN

SHEET
C1.01
 OF
 REV. #



LEGEND				
● FOUND MONUMENT	○ SET MONUMENT MARKED	○ SANITARY SEWER	○ WATERMAIN	--- EASEMENT LINE
⊗ ELECTRIC METER	⊗ AIR CONDITIONER	⊗ GUY ANCHOR	⊗ HANDICAP STALL	⊗ UTILITY POLE
⊗ POST	⊗ SIGN	⊗ DECIDUOUS TREE	⊗ CONIFEROUS TREE	⊗ WOOD FENCE
⊗ FORCEMAIN (SAN.)	⊗ STORM SEWER	⊗ FLARED END SECTION	⊗ ELECTRIC TRANSFORMER	⊗ TELEPHONE PEDESTAL
⊗ GAS METER	⊗ OVERHEAD WIRE	⊗ CHAIN LINK FENCE	⊗ IRON FENCE	⊗ WIRE FENCE
⊗ CONCRETE CURB	⊗ BUILDING LINE	⊗ BUILDING CANOPY	⊗ BITUMINOUS SURFACE	⊗ CONCRETE SURFACE
⊗ LANDSCAPE SURFACE				

DESCRIPTION
 Lot 1, Block 1, GARRISON FOREST FIFTH ADDITION, according to the duly recorded plat thereof, Hennepin County, Minnesota.
 (Abstract Property)

PROPERTY SUMMARY

- SUBJECT PROPERTIES ADDRESS IS 9605 ANDERSON LAKES PARKWAY, ITS PROPERTY IDENTIFICATION NUMBER IS 24-116-22-44-0054.
- THE GROSS AREA OF THE SUBJECT PROPERTY IS 9.091 ACRES OR 396,017 SQUARE FEET.
- THE SUBJECT PROPERTY IS ZONED COMMUNITY COMMERCIAL, PER EDEN PRAIRIE ZONING MAP, DATED MARCH 1, 2017.
- THE BUILDING(S) AND EXTERIOR DIMENSIONS OF THE OUTSIDE WALL AT GROUND LEVEL ARE SHOWN ON THE SURVEY. IT MAY NOT BE THE FOUNDATION WALL.

BENCHMARKS

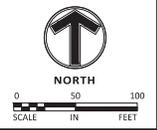
- THE VERTICAL DATUM IS BASED ON NAVD88. THE ORIGINATING BENCH MARK IS 27769, REFERENCED FROM THE MNDOT GEODETIC DATABASE.

BENCHMARK #1
 Storm Structure Rim- approximately 160 feet SW of southerly access point along the easterly boundary.
 ELEV = 872.48

BENCHMARK #2
 Storm Structure Rim- approximately 52 feet NW of northerly access point along the easterly boundary.
 ELEV = 869.32

SURVEY NOTES

- THE BEARING SYSTEM IS BASED ON THE HENNEPIN COUNTY COORDINATE SYSTEM, NAD83 (1986 ADJUST), WITH AN ASSUMED BEARING OF NORTH 00 DEGREES 01 MINUTES 28 SECONDS WEST FOR THE EAST LINE OF SOUTHEAST QUARTER, SECTION 24, TOWNSHIP 116, RANGE 22.
- FIELD WORK WAS COMPLETED ON 11/16/2017.



24.15 (AMS TECH) | ALEA STUIZ | 7/24/2023 12:33:37 PM | PROJECT 531688 | CAD/SHEETS/531688#C-01.EXD.DWG/EXISTING CONDITIONS

NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor in the laws of the State of Minnesota.

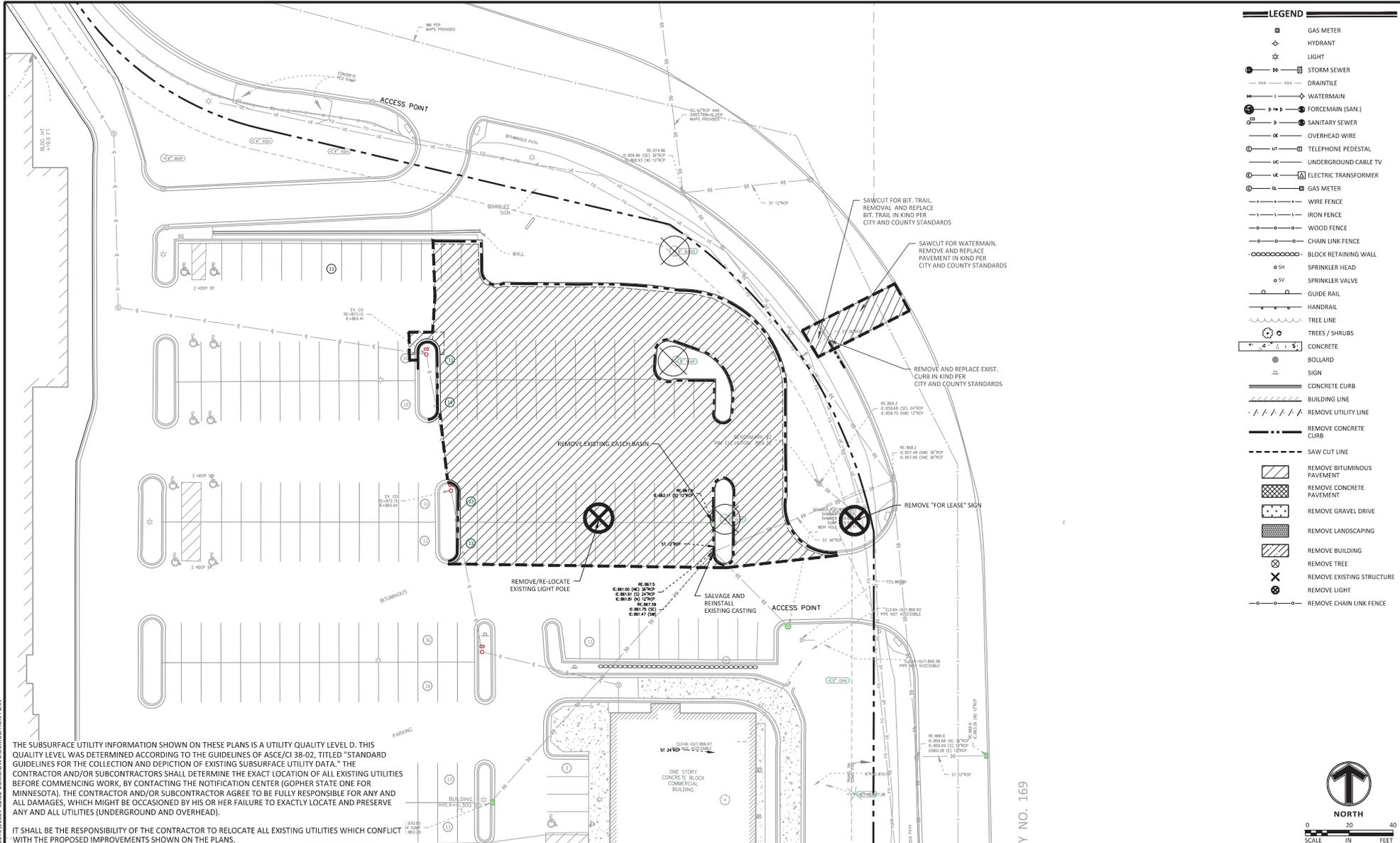
Print Name: _____
 Date: _____ License # _____

PRELIMINARY

PRELIMINARY 05/30/2023 DESIGN REVIEW	DRAWN BY DESIGNED BY	 Sambatek www.sambatek.com Engineering Surveying Planning Environmental
PERMIT SUBMITTAL CONSTRUCTION DOCUMENTS	CHECKED BY PROJECT NO. 51688	

EXISTING CONDITIONS
 JERRY'S ENTERPRISES, INC.
 PRESERVE VILLAGE
 EDEN PRAIRIE, MN

SHEET
C2.01
 OF
REV. #



- LEGEND**
- ⊠ GAS METER
 - ⊕ HYDRANT
 - ☆ LIGHT
 - ⊙ STORM SEWER
 - ⊖ DRAIN TILE
 - ⊕ WATERMAIN
 - ⊕ FORCEMAIN (SAN.)
 - ⊕ SANITARY SEWER
 - ⊕ OVERHEAD WIRE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ UNDERGROUND CABLE TV
 - ⊕ ELECTRIC TRANSFORMER
 - ⊕ GAS METER
 - ⊕ WIRE FENCE
 - ⊕ IRON FENCE
 - ⊕ WOOD FENCE
 - ⊕ CHAIN LINK FENCE
 - ⊕ BLOCK RETAINING WALL
 - ⊕ SPRINKLER HEAD
 - ⊕ SPRINKLER VALVE
 - ⊕ GUIDE RAIL
 - ⊕ HANDRAIL
 - ⊕ TREE LINE
 - ⊕ TREES / SHRUBS
 - ⊕ CONCRETE
 - ⊕ BOLLARD
 - ⊕ SIGN
 - ⊕ CONCRETE CURB
 - ⊕ BUILDING LINE
 - ⊕ REMOVE UTILITY LINE
 - ⊕ REMOVE CONCRETE CURB
 - ⊕ SAW CUT LINE
 - ⊕ REMOVE BITUMINOUS PAVEMENT
 - ⊕ REMOVE CONCRETE PAVEMENT
 - ⊕ REMOVE GRAVEL DRIVE
 - ⊕ REMOVE LANDSCAPING
 - ⊕ REMOVE BUILDING
 - ⊕ REMOVE TREE
 - ⊕ REMOVE EXISTING STRUCTURE
 - ⊕ REMOVE LIGHT
 - ⊕ REMOVE CHAIN LINK FENCE

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CHKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: BRUCE RUSSELLMAN

Date: _____ License # 44579

PRELIMINARY
05/30/2023
DESIGN REVIEW

PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY
TPK

DESIGNED BY
BDB

CHECKED BY
BDB

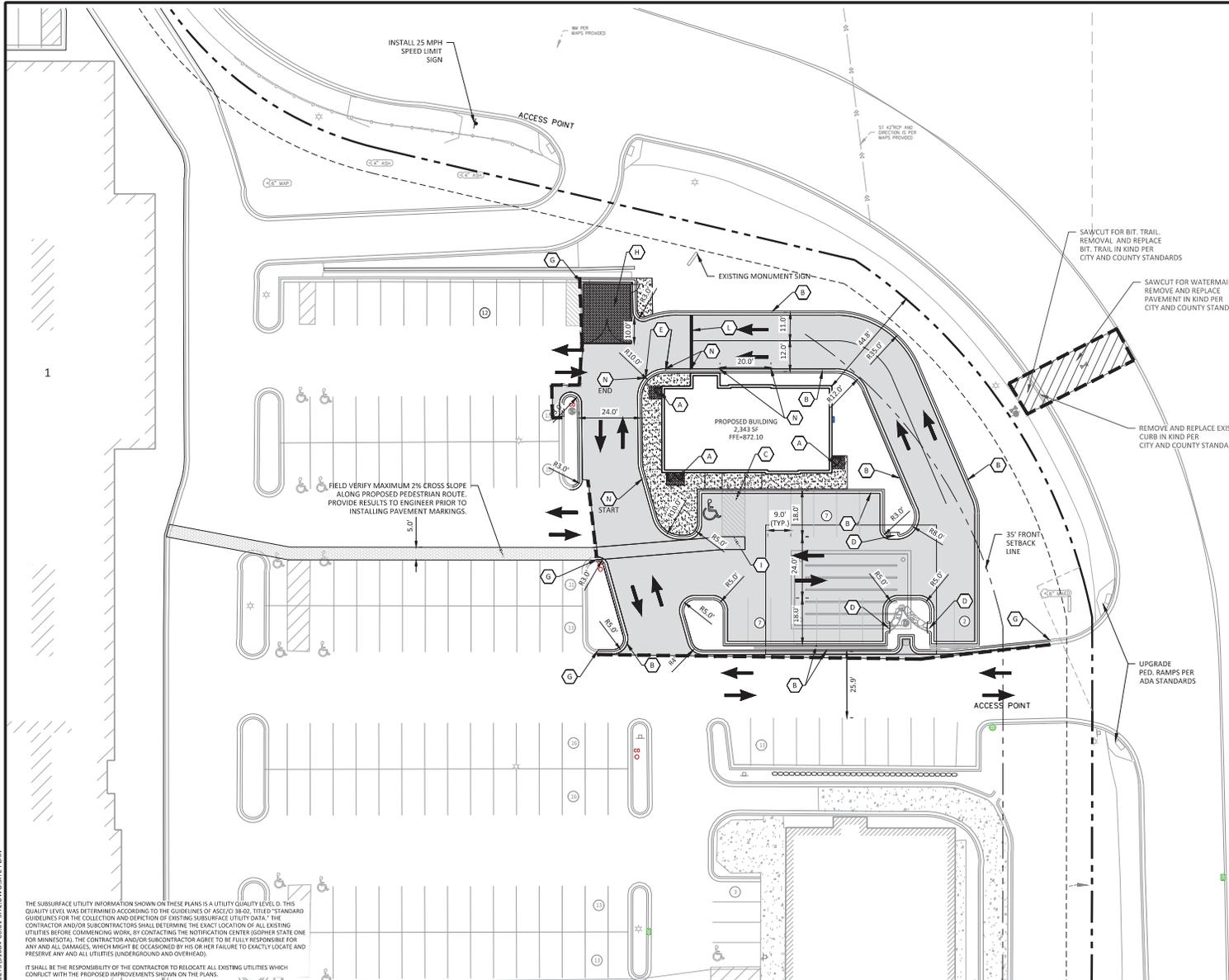
PROJECT NO.
51684



DEMOLITION PLAN
JERRY'S ENTERPRISES, INC.
PRESERVE VILLAGE
EDEN PRAIRIE, MN

SHEET
C2.02
OF
REV. #

24.15 (AM5 TECH) | ALEA STUTZ | 11/6/2023 4:31:36 PM
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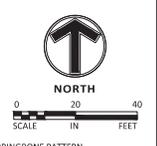
LEGEND

PROPOSED	EXISTING	BOUNDARY LINE	STANDARD DUTY ASPHALT PAVING
CONCRETE CURB	EASEMENT LINE	HEAVY DUTY ASPHALT PAVING	
BUILDING LINE	RETAINING WALL	CONCRETE PAVING	
WETLAND	TREE LINE	CONCRETE SIDEWALK	
SAW CUT LINE	SIGN	PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)	
BOLLARD			
PARKING STALL COUNT			
KEY NOTE			
LIGHT POLE (BY OTHERS)			

DEVELOPMENT SUMMARY

AREA	
CROSS SITE AREA	396,017 SF 9.09 AC
EXISTING BUILDING AREA	83,800 SF
PROPOSED BUILDING AREA (CHIPOTLE)	2,343 SF
TOTAL BUILDING AREA	86,143 SF 1.98 AC
EXISTING BUILDING BREAKDOWN	
RESTAURANT AREA	78,668 SF
TOTAL RESTAURANT SEATS	5,132 SF
ESTABACKS = 36 SEATS	106 SEATS
(BODDOLY'S = 20 SEATS)	
(BRUEGGER'S BAGELS = 30 SEATS)	
(MY BURGER = 20 SEATS)	
BASE AREA RATIO (BAR)	0.21
PROPOSED BUILDING BREAKDOWN	
RESTAURANT AREA (CHIPOTLE)	2,343
TOTAL RESTAURANT SEATS (CHIPOTLE)	72
NEW OR FULLY RE-CONSTRUCTED IMPERVIOUS	18,358 SF 0.42 AC
EXISTING IMPERVIOUS COVERAGE (TOTAL SITE)	289,841 SF 6.65 AC
PROPOSED IMPERVIOUS COVERAGE (TOTAL SITE)	288,491 SF 6.62 AC
PAVED AREA (TOTAL SITE)	176,768 SF 4.05 AC
ZONING	
EXISTING ZONING	COMMUNITY COMMERCIAL
PROPOSED ZONING	PUD
PARKING REQUIREMENTS	
PARKING REQUIRED (RETAIL 4.5/1,000 SF)	353
PARKING REQUIRED (RESTAURANT 1/2.5 SEATS) (42 EXISTING PLUS CHIPOTLE 29)	72
TOTAL STALLS REQUIRED	425
ADA STALLS EXISTING	21 STALLS
ADA STALLS FOR PROPOSED (CHIPOTLE)	1 STALL
TOTAL ADA STALLS FOR DEVELOPED SITE	22 STALLS
TOTAL STALLS EXISTING	389 STALLS
TOTAL STALLS REMOVED (PROPOSED CHIPOTLE)	(54 STALLS)
TOTAL STALLS PROVIDED (PROPOSED CHIPOTLE)	16 STALLS
TOTAL STALLS FOR DEVELOPED SITE	351 STALLS
INTERNAL GREEN SPACE	
AREA WITHIN PARKING REQUIRED	3,506 (6,856 SF)
AREA WITHIN PARKING PROVIDED	4,196 (8,229 SF)
DISTURBED AREA	23,840 SF
EXISTING ISLANDS REMOVED	
EXISTING ISLANDS IMPACTED	833 SF
EXISTING AREA	248 SF
PROPOSED AREA	361 SF

- KEY NOTES**
- A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
 - B. 6-612 CONCRETE CURB AND GUTTER
 - C. ACCESSIBLE PED RAMP
 - D. CURB CUT FOR DRAINAGE
 - E. FLAT CURB SECTION
 - F. CONCRETE SIDEWALK
 - G. MEET AND MATCH EXISTING CURB & GUTTER
 - H. TRASH LOCATION
 - I. ACCESSIBLE STALL STRIPING
 - J. ACCESSIBLE PARKING SIGN
 - K. TRANSFORMER
 - L. STOP BAR
 - M. TRAFFIC PATTERNS (TM) NON-STANDARD DECORATIVE CROSSWALK HERRINGBONE PATTERN WITH TP42 BORDER, COLOR WHITE.
 - N. CURB TRANSITION



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IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CHKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: BRUCE RUSSELLMAN

Date: License # 44579

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05/30/2023
DESIGN REVIEW

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PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

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SITE PLAN

JERRY'S ENTERPRISES, INC.
PRESERVE VILLAGE

EDEN PRAIRIE, MN

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GRADING NOTES

GRADING NOTES

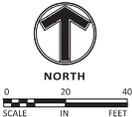
1. PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
2. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
3. ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.00% (1:50). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
4. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
5. SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
6. CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:
COMPANY:
ADDRESS:
PHONE:
DATED:
- CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.
- CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- EXISTING TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN TO THE CONTRACTOR'S OPERATIONS AND SHALL BE A RESTRICTED AREA. CONTRACTOR SHALL PROTECT TREES TO REMAIN AT ALL TIMES. EQUIPMENT SHALL NOT NEEDLESSLY BE OPERATED UNDER NEARBY TREES AND EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING ADJACENT TO TREES. SHOULD ANY PORTION OF THE TREE BRANCHES REQUIRE REMOVAL TO PERMIT OPERATION OF THE CONTRACTOR'S EQUIPMENT, CONTRACTOR SHALL OBTAIN THE SERVICES OF A PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREES PRIOR TO THE BEGINNING OF OPERATION. SHOULD CONTRACTOR'S OPERATIONS RESULT IN THE BREAKING OF ANY LIMBS, THE BROKEN LIMBS SHOULD BE REMOVED IMMEDIATELY AND CUTS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY LASTING DAMAGE TO THE TREE. NO TREES SHALL BE REMOVED WITHOUT AUTHORIZATION BY THE ENGINEER. COSTS FOR TRIMMING SERVICES SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONSTRUCTION AND NO SPECIAL PAYMENT WILL BE MADE.
 - a. RESTRICTED AREAS SHALL INCLUDE ALL DESIGNATED TREAD AREAS OUTSIDE OF THE DESIGNATED CONSTRUCTION ZONE. ALL VEGETATION WITHIN THE RESTRICTED AREAS SHALL REMAIN.
 - b. CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES WITHIN THE CONSTRUCTION MAY BE RESTRICTED TO A NARROWER WIDTH IN THE FIELD TO SAVE ADDITIONAL TREES AS DIRECTED BY THE OWNER.
 - c. ACTIVITIES PROHIBITED OUTSIDE OF THE CONSTRUCTION BOUNDARIES WOULD INCLUDE, BUT NOT BE LIMITED TO, SOIL AND OTHER MATERIAL STOCKPILING, EQUIPMENT OR MACHINERY STORAGE, DRIVING OF ANY VEHICLE, LEAKAGE OR SPILLAGE OF ANY "WASHOUT" OR OTHER TOXIC MATERIAL. THE COLLECTION OF OTHER DEBRIS AND SOIL STOCKPILING WILL BE IN AN AREA DETERMINED ON-SITE BY THE ENGINEER.
 - d. ALL RESTRICTED AREAS SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING AND STEEL STAKES AS SHOWN ON THE TREE PROTECTION DETAIL. AT NO TIME SHALL THIS FENCING BE REMOVED OR ACTIVITY OF ANY KIND TAKE PLACE WITHIN IT. FINAL PLACEMENT OF ALL PROTECTIVE FENCING SHALL BE COMPLETED BEFORE ANY WORK COMMENCES ON-SITE.
 - e. BEFORE COMMENCING WITH ANY EXCAVATION CONTRACTOR SHALL COMPLETE ALL PREPARATORY WORK REGARDING TREE REMOVAL, ROOT PRUNING, TREE PRUNING AND STUMP REMOVAL TO THE SATISFACTION OF THE OWNER.
- PREPARATORY WORK SHALL INCLUDE THE FOLLOWING AND SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE:
 - i. TREE REMOVAL: CONTRACTOR SHALL FELL THE TREES, AT NO TIME SHALL TREES BE BULLDOZED OUT, BUT SHALL BE CUT DOWN AND STUMPS REMOVED SEPARATELY. PRIOR TO THE FELLING OF ALL TREES, PROPER REMOVAL OF A PORTION OR ALL OF THE CANOPY SHALL BE COMPLETED SO THAT TREES IN THE RESTRICTED AREAS SHALL NOT BE INJURED IN THE PROCESS.
 - ii. ROOT PRUNING: BEFORE ANY STUMPS ARE TO BE REMOVED, ALL ROOTS SHALL BE SEVERED FROM ROOTS IN THE RESTRICTED AREAS BY SAW CUTTING WITH A VERMEER DESIGNED FOR ROOT PRUNING, BY HAND, OR WITH A CHAINSAW. TREE ROOTS PROJECTING INTO THE CONSTRUCTION ZONE SHALL BE EXPOSED PRIOR TO ROOT PRUNING WITH SMALL MACHINERY, I.E., BOBCAT.
 - iii. STUMP REMOVAL: AT SUCH TIME THAT ROOTS HAVE BEEN PROPERLY SEVERED, STUMPS MAY BE REMOVED. WHERE REMOVAL OF CERTAIN STUMPS COULD CAUSE DAMAGE TO EXISTING PROTECTED TREES, TREE STUMPS SHALL BE GROUND OUT. ALL STUMP REMOVAL SHALL BE UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE.
 - iv. TREE PRUNING: PROPER PRUNING OF TREES IN THE RESTRICTED ZONE SHALL BE DIRECTED BY AND SUPERVISION AT ALL TIMES BY THE OWNER'S REPRESENTATIVE.

- a. AN OWNER'S REPRESENTATIVE WILL BE AVAILABLE AT ALL TIMES DURING THE PREPARATORY AND CONSTRUCTION PERIOD.
- b. MULCH RATHER THAN SEED OR SOD WILL BE USED AT THE BASE OF QUALITY TREES TO A PERIMETER DETERMINED BY THE OWNER'S REPRESENTATIVE. AREAS TO BE SEEDED FOR EROSION CONTROL PURPOSES WITHIN THE CONSTRUCTION ZONE ARE TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE. NATURAL GROUND COVER WILL BE MAINTAINED WHEREVER POSSIBLE.
- c. THE USE OF RETAINING WALLS NEAR TREES, IN ADDITION TO THOSE REQUIRED ON THE PLANS SHALL BE DETERMINED IN THE FIELD, BASED ON TREE LOCATIONS AND TOPOGRAPHY.
2. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
3. TRENCH BORROW CONSTRUCTION, IF ALLOWED BY THE OWNER, CONTRACTOR SHALL COMPLETE "TRENCH BORROW" EXCAVATION IN AREAS DIRECTED BY THE ENGINEER IN ORDER TO OBTAIN STRUCTURAL MATERIAL. TREES SHALL NOT BE REMOVED OR DAMAGED AS A RESULT OF THE EXCAVATION, UNLESS APPROVED BY THE ENGINEER. THE EXCAVATION SHALL COMMENCE A MINIMUM OF 10 FEET FROM THE LIMIT OF THE BUILDING PAD. THE EXCAVATION FROM THIS LIMIT SHALL EXTEND AT A MINIMUM SLOPE OF 1 FOOT HORIZONTAL TO 1 FOOT VERTICAL (1:1) DOWNWARD AND OUTWARD FROM THE FINISHED SURFACE GRADE ELEVATION. THE TRENCH BORROW EXCAVATION SHALL BE BACKFILLED TO THE PROPOSED FINISHED GRADE ELEVATION, AND SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE QUALITY COMPACTION METHOD AS OUTLINED IN MNDOT SPECIFICATION 2105.3F2. SNOW FENCE SHALL BE FURNISHED AND PLACED ALONG THE PERIMETER OF THE TRENCH BORROW AREA WHERE THE SLOPES EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1).
4. FINISHED GRADING SHALL BE COMPLETED, CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISHED GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED, ERODED OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
5. TOLERANCES
 - a. THE RESIDENTIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - b. THE COMMERCIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.10 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - c. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - d. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - e. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
6. AFTER THE SITE GRADING IS COMPLETED, IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
7. CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY HAUL ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION AND SHALL INDICATE HAUL ROADS ON EROSION AND SEDIMENT CONTROL "SITE MAP". CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. CONTRACTOR SHALL POST WHATEVER SECURITY AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.
8. DISTURBED AREAS WITHIN WETLAND MITIGATION SITE AND ANY DISTURBED AREAS WITHIN THE WETLAND SHALL BE RESTORED WITH 6 TO 12 INCHES OF ORGANIC SOILS, PREFERABLY SOILS THAT WERE PREVIOUSLY REMOVED FROM WETLAND AREAS. SEEDING IN THE WETLAND MITIGATION AREAS ABOVE THE NORMAL WATER LEVEL SHALL BE MN STATE SEED MIX 34-271, WET MEADOW SOUTH AND WEST, OR APPROVED EQUAL FOR STATE SEED MIXES, OATS AND WINTER WHEAT SHOULD BE SELECTED BASED ON THE TIME OF YEAR THAT THE MIX IS BEING USED. OATS SHOULD BE INCLUDED IN MIXES IF BEING USED BETWEEN OCTOBER 15TH AND AUGUST 1ST. WINTER WHEAT SHOULD BE USED BETWEEN AUGUST 1ST AND OCTOBER 15TH. THE SEEDING RATE IS THE SAME FOR OATS AND WINTER WHEAT. MIX 34-271 SHOULD BE APPLIED AT 12 POUNDS PER ACRE. SEED SHALL BE WATERED UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
9. FILL PLACED WITHIN THE BUILDING PAD AREAS SHALL BE IN CONFORMANCE WITH HUD/FHA PROCEDURES AND DATA SHEET 79G.
10. RETAINING WALL(S) SHALL BE CONSTRUCTED OF _____ (MODULAR BLOCK, TREATED TIMBER, BOUNDER, ETC.) MATERIAL. CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND LOCAL AUTHORITY CERTIFIED ENGINEERING DRAWINGS, DESIGN CALCULATIONS AND SOIL BORINGS. THE CERTIFIED ENGINEER FOR THE RETAINING WALL(S) SHALL PROVIDE CONSTRUCTION OBSERVATIONS OF THE RETAINING WALL IMPROVEMENT, AND A LETTER CERTIFYING THE INSTALLATION OF THE WALL(S) WAS CONSTRUCTED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

CIVIL 3D MODEL LIMITATIONS

SAMBATEK'S DELIVERABLE AND GOVERNING DOCUMENTS FOR CONSTRUCTION SHALL BE A HARD COPY AND/OR PDF PLAN SHEETS. IF A CIVIL 3D MODEL IS GENERATED IN THE PROCESS OF PREPARING THE PLAN SHEETS, IT IS AS A DESIGN TOOL ONLY AND NOT AS A SEPARATE DELIVERABLE AT THE OWNER'S REQUEST. WE WILL RELEASE OUR CIVIL 3D MODEL FOR THE CONTRACTOR'S USE. HOWEVER, ITS USE IS AT THE CONTRACTOR'S RISK AND SHALL NOT BE USED FOR STAKING OF CURB, SIDEWALK, OR OTHER HARD SURFACE IMPROVEMENTS. IF A CIVIL 3D MODEL FOR STAKING HARD SURFACE IMPROVEMENTS IS REQUIRED, WE CAN PROVIDE A SUPPLEMENTAL AGREEMENT FOR REFINEMENT AND PREPARATION OF THE CIVIL 3D MODEL.

24.15 (AMS TECH) | ALEA STUTZ | 11/6/2023 1:36:09 PM | PROJECT: 51684-C4.01-GRAD-DWG-C-402-GRADING NOTES



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Date: _____ License # 44579

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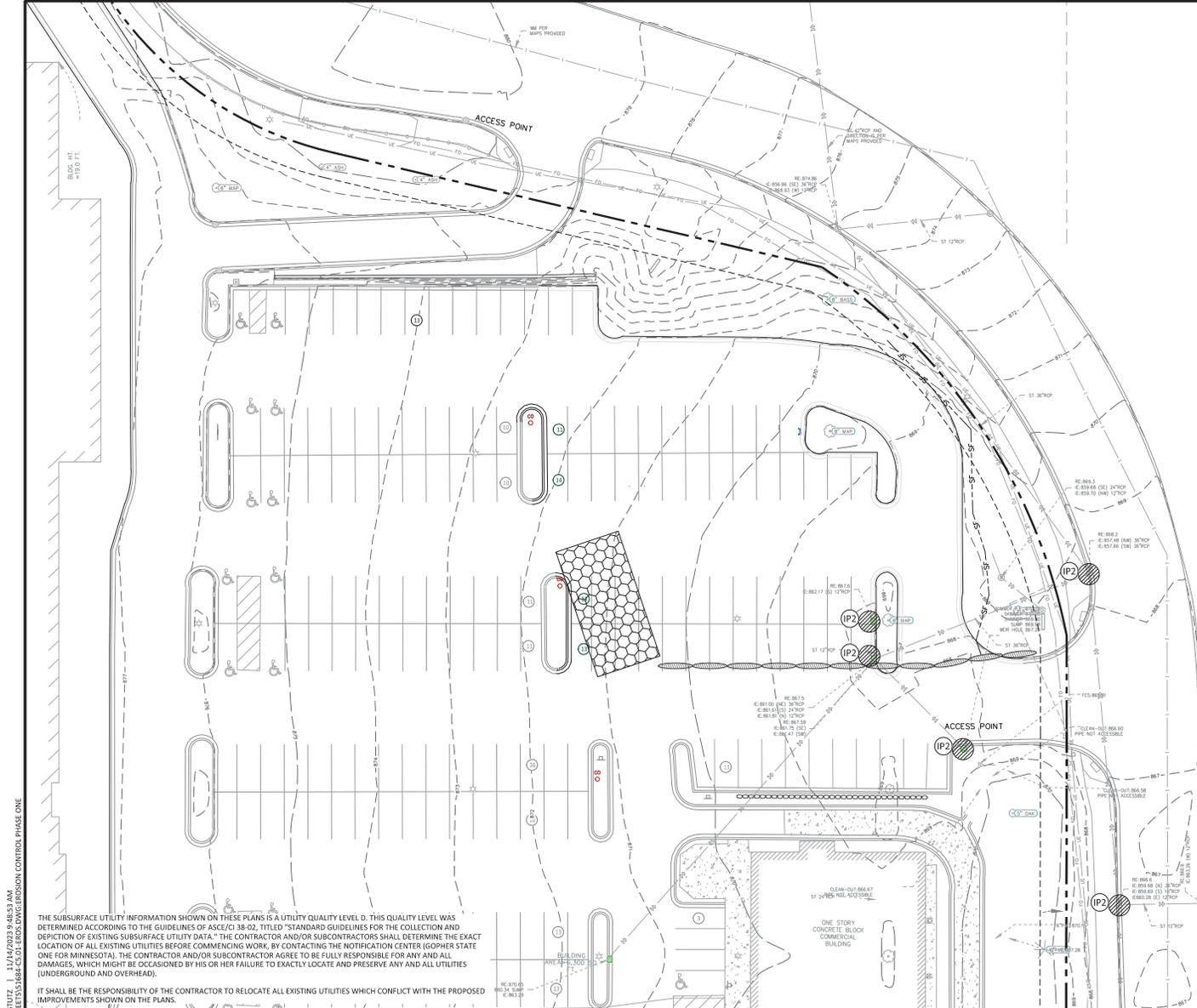
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51684-C4.01-GRAD - C-4.01 GRADING PLAN (2)
JERRY'S ENTERPRISES, INC.
PRESERVE VILLAGE
EDEN PRAIRIE, MN

SHEET

OF
REV. #



LEGEND

PROPOSED	EXISTING	
		CONCRETE CURB
		STORM SEWER
		DRAINTILE
		CONTOUR
		RIPRAP
		OVERFLOW ELEV. 902.5
		BIO-ROLL
		SILT FENCE
		SILT DIKE
		LIMITS OF DISTURBANCE
		SOIL BORING
		DIRECTION OF OVERLAND FLOW
		TEMPORARY DIVERSION DITCH
		CHECK DAM
		LIMITS OF DRAINAGE SUB-BASIN
		INLET PROTECTION DEVICE
		TEMPORARY STONE CONSTRUCTION ENTRANCE
		TEMPORARY SEDIMENT BASIN
		TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)
		TEMPORARY STORAGE AND PARKING AREA

EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	130
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	145
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	10
INLET PROTECTION DEVICE (IP-2)	UNIT	5
INLET PROTECTION DEVICE (IP-3)	UNIT	0

* REFER TO SHEET CS 03 & CS 04 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

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 C:\PROJECTS\1684\GD\DWG\1684-CS-01-EROSION CONTROL PHASE ONE

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA), THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: BRUCE RUSSELLMAN

Date: _____ License # 44579

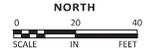
PRELIMINARY
 05/30/2023
 DESIGN REVIEW
 PERMIT SUBMITTAL
 CONSTRUCTION DOCUMENTS

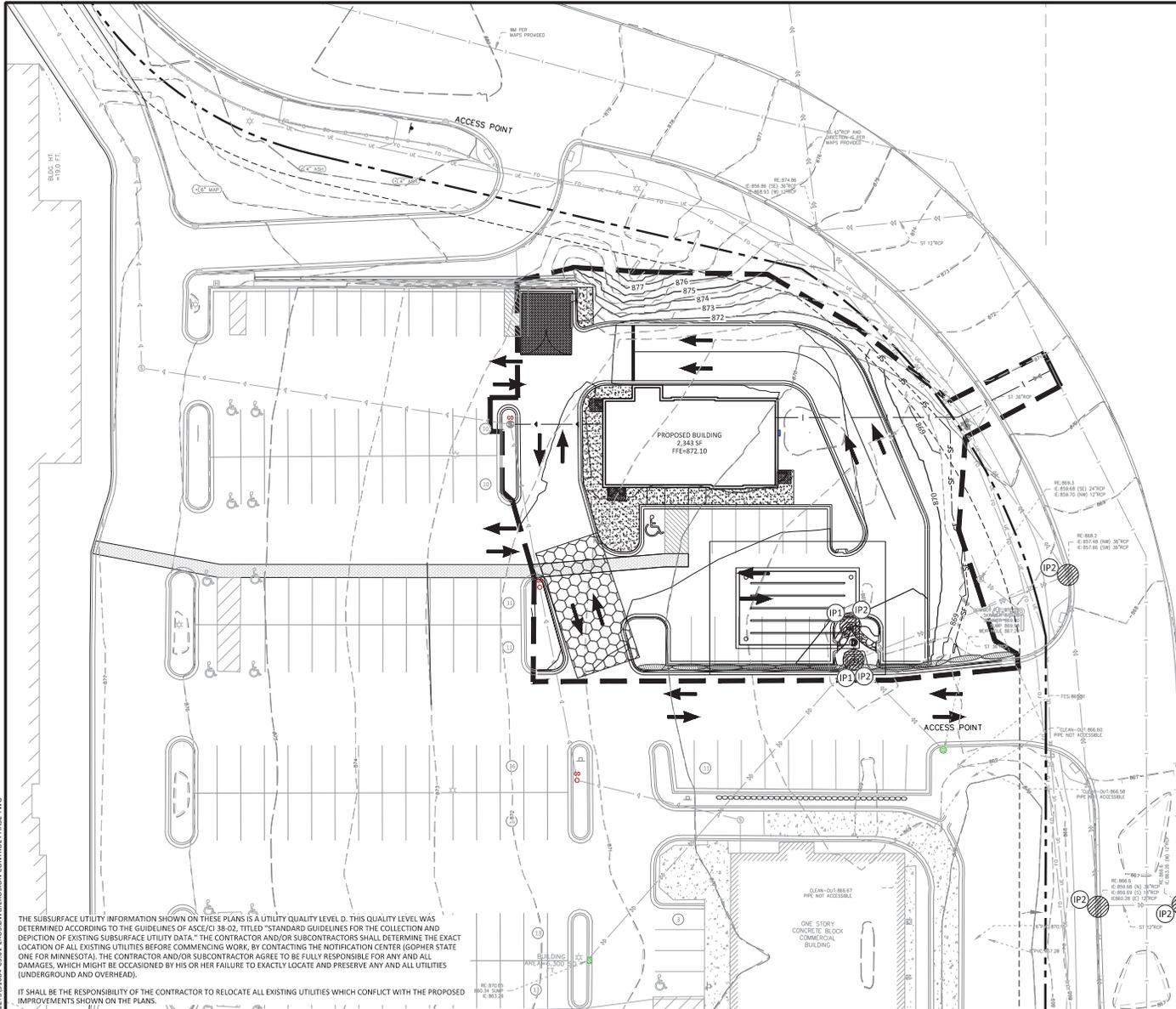
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 TPK
 DESIGNED BY
 BDB
 CHECKED BY
 BDB
 PROJECT NO.
 51684



EROSION CONTROL PHASE ONE
 JERRY'S ENTERPRISES, INC.
 PRESERVE VILLAGE
 EDEN PRAIRIE, MN

SHEET
C5.01
OF
REV. #





LEGEND

PROPOSED	EXISTING	
		CONCRETE CURB
		STORM SEWER
		DRAINTILE
		CONTOUR
		RIPRAP
		OVERFLOW ELEV. 902.5
		BIO-ROLL
		SILT FENCE
		SILT DIKE
		LIMITS OF DISTURBANCE
		SOIL BORING
		DIRECTION OF OVERLAND FLOW
		TEMPORARY DIVERSION DITCH
		CHECK DAM
		LIMITS OF DRAINAGE SUB-BASIN
		INLET PROTECTION DEVICE
		TEMPORARY STONE CONSTRUCTION ENTRANCE
		TEMPORARY SEDIMENT BASIN
		TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)
		TEMPORARY STORAGE AND PARKING AREA

EROSION CONTROL MATERIALS QUANTITIES (CUMULATIVE)

ITEM	UNIT	QUANTITY (CUMULATIVE)
SILT FENCE	LINEAR FEET	130
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	145
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	1
INLET PROTECTION DEVICE (IP-2)	UNIT	5
INLET PROTECTION DEVICE (IP-3)	UNIT	0

* REFER TO SHEET C5.03 & C5.04 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

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IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: **BRUCE RUSSELLMAN**

Date: _____ License # 44579

PRELIMINARY
05/30/2023
DESIGN REVIEW

DRAWN BY
TPK

DESIGNED BY
BDB

CHECKED BY
BDB

PROJECT NO.
51684

CONSTRUCTION DOCUMENTS

Engineering | Surveying | Planning | Environmental

Sambatek
www.sambatek.com

EROSION CONTROL PHASE TWO

JERRY'S ENTERPRISES, INC.
PRESERVE VILLAGE

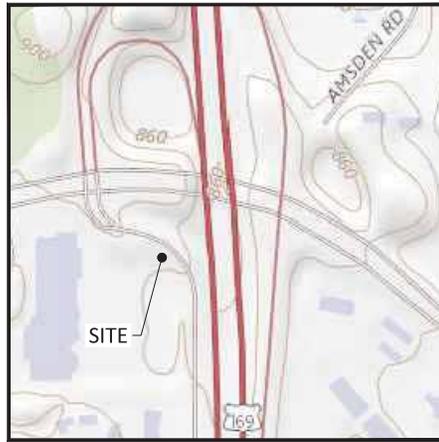
EDEN PRAIRIE, MN

SHEET
C5.02
OF
REV. #

EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"



SITE LOCATION MAP
NOT TO SCALE



USGS MAP
NOT TO SCALE

SEQUENCE OF CONSTRUCTION

- PHASE I:**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
 3. CONSTRUCT THE SILT FENCES ON THE SITE.
 4. INSTALL INLET PROTECTION DEVICES ON EXISTING STORM STRUCTURES, AS SHOWN ON THE PLAN.
 5. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS, AS REQUIRED.
 6. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
 7. CLEAR AND GRUB THE SITE.
 8. BEGIN GRADING THE SITE.
 9. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- PHASE II:**
1. TEMPORARY SEED DENuded AREAS.
 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
 4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 5. PREPARE SITE FOR PAVING.
 6. PAVE SITE.
 7. INSTALL INLET PROTECTION DEVICES.
 8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
 9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT.

GENERAL EROSION NOTES

1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND SAMBATEK STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, AND ITS APPENDICES, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT, ISSUED AUGUST 1, 2010) AND BECOME FAMILIAR WITH THE CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION. (NOTE TO THE PREPARER: EDIT APPLICATION PROCESS PER PROJECT REQUIREMENTS)
4. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. CONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION. (NOTE TO THE PREPARER: REVISE INSPECTION RESPONSIBILITY PER OPTIONS IN SWPPP NARRATIVE (SECTION 023700))
5. CONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS IN PART 21.1-21.3 OF THE GENERAL PERMIT.
6. BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
7. ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
8. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLANS SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
9. GENERAL CONTRACTOR SHALL DEMOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
10. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.
11. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER IS NOT ACCEPTABLE. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS ARE ALLOWED.
12. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
13. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
14. SOLID WASTE, COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.

MAINTENANCE NOTES

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION OR SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
2. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART 10.1.10.5 OF THE GENERAL PERMIT).
3. SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. CONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
4. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART 9.1.11-9.12 OF THE GENERAL PERMIT.
5. CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMP'S, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITEES ARE RESPONSIBLE UNTIL ANOTHER PERMITEE HAS ASSUMED CONTROL (ACCORDING TO PART 3.1 TO 3.8 OF THE MPCA GENERAL PERMIT) OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A (IN.G.1.) HAS BEEN SUBMITTED TO THE MPCA.
6. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
7. ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

RILEY PURGATORY BLUFF CREEK WATERSHED DISTRICT NOTES

1. NATURAL TOPOGRAPHY AND SOIL CONDITIONS MUST BE PROTECTED, INCLUDING RETENTION ON SITE OF NATIVE TOPSOIL TO THE GREATEST EXTENT POSSIBLE.
2. ADDITIONAL MEASURES, SUCH AS HYDRALIC MULCHING AND OTHER PRACTICES AS SPECIFIED BY THE DISTRICT MUST BE USED ON SLOPES OF 3:1 (H:V) OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
3. FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
4. CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE MUST BE PROPERLY MANAGED.
5. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE DISTRICT.
6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S MUST BE REMOVED UPON FINAL STABILIZATION.
7. SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERIODS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 LB/RSQUARE OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF THE SOIL PROFILE WHILE TAKING CARE TO PROTECT UTILITIES, TREE ROOTS, AND OTHER EXISTING VEGETATION.
8. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED ON A PROPERTY THAT DRAINS TO AN IMPAIRED WATER, WITHIN 14 DAYS ELSEWHERE.
9. THE PERMITEE MUST, AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, THE PERMITEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. THE PERMITEE WILL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.

AREA SUMMARY IN ACRES

PAVEMENT AREA	0.42 AC±
BUILDING AREA	0.05 AC±
SEEDDED AREA	0.13 AC±
TOTAL DISTURBED	0.58 AC±
PRE - CONSTRUCTION IMPERVIOUS	0.45 AC±
POST - CONSTRUCTION IMPERVIOUS	0.42 AC±

DEVELOPER/OWNER: JERRY'S ENTERPRISES, INC. 5300 VERNON AVENUE SOUTH EDINA, MN 55436 952-922-8939
SITE OPERATOR / GENERAL CONTRACTOR
SUPERINTENDENT:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: BRUCE RUSSELLMAN

Date: _____ License # 44579

PRELIMINARY
05/30/2023
DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
TPK

DESIGNED BY
BDB

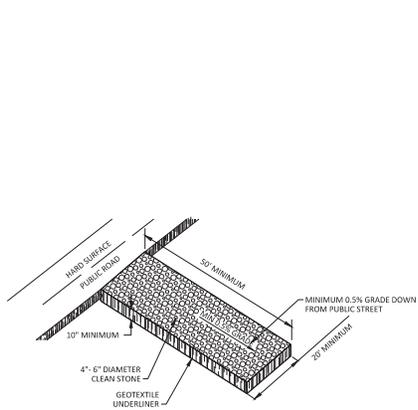
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51684

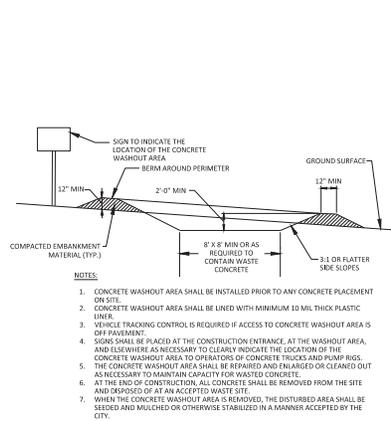


EROSION CONTROL NOTES	SHEET
JERRY'S ENTERPRISES, INC. PRESERVE VILLAGE	C5.03
EDEN PRAIRIE, MN	OF
	REV. #

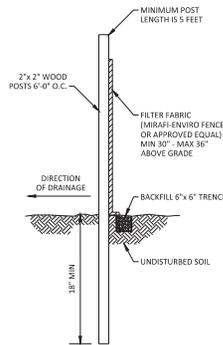
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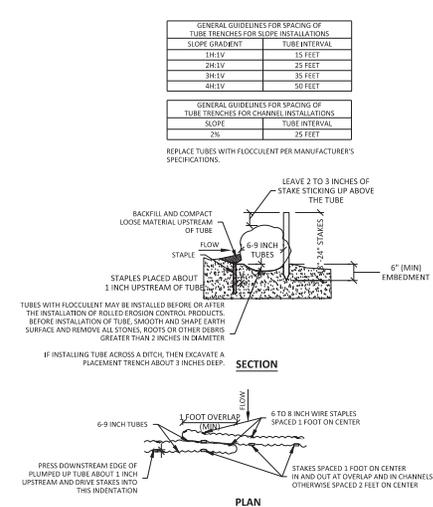
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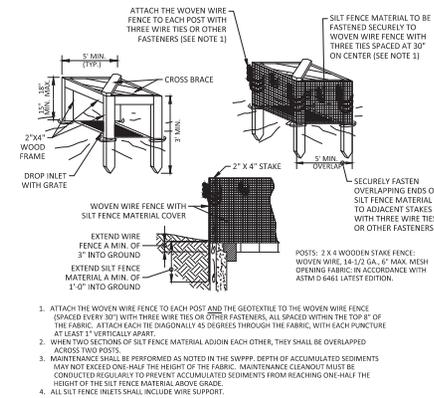
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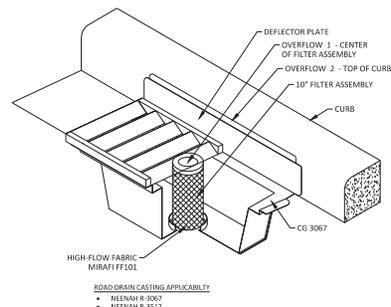
SF PREASSEMBLED SILT FENCE-WOOD POSTS (MNDOT 3886)
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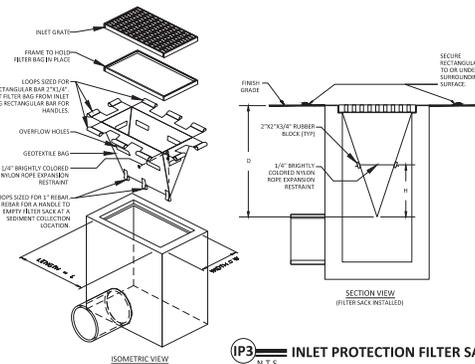
BR BIO-ROLLS
N.T.S.



IP1 SILT FENCE INLET PROTECTION
N.T.S.



IP2 CURB DRAIN INLET PROTECTION
N.T.S.



IP3 INLET PROTECTION FILTER SACK
N.T.S.

FOR USE ONLY IN PAVED AREAS WHERE SEDIMENT LOADS ARE EXPECTED TO BE VERY LOW. FILTER SACK MUST HAVE OVERFLOW HOLES TO PREVENT PONDING.

24.15 (AMS TECH) | ALEA,STJZ | 11/07/2023 9:46:53 AM | PROJECT:331684(CAD)SHEET:1513886-05.01.EROSION CONTROL DETAILS

NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

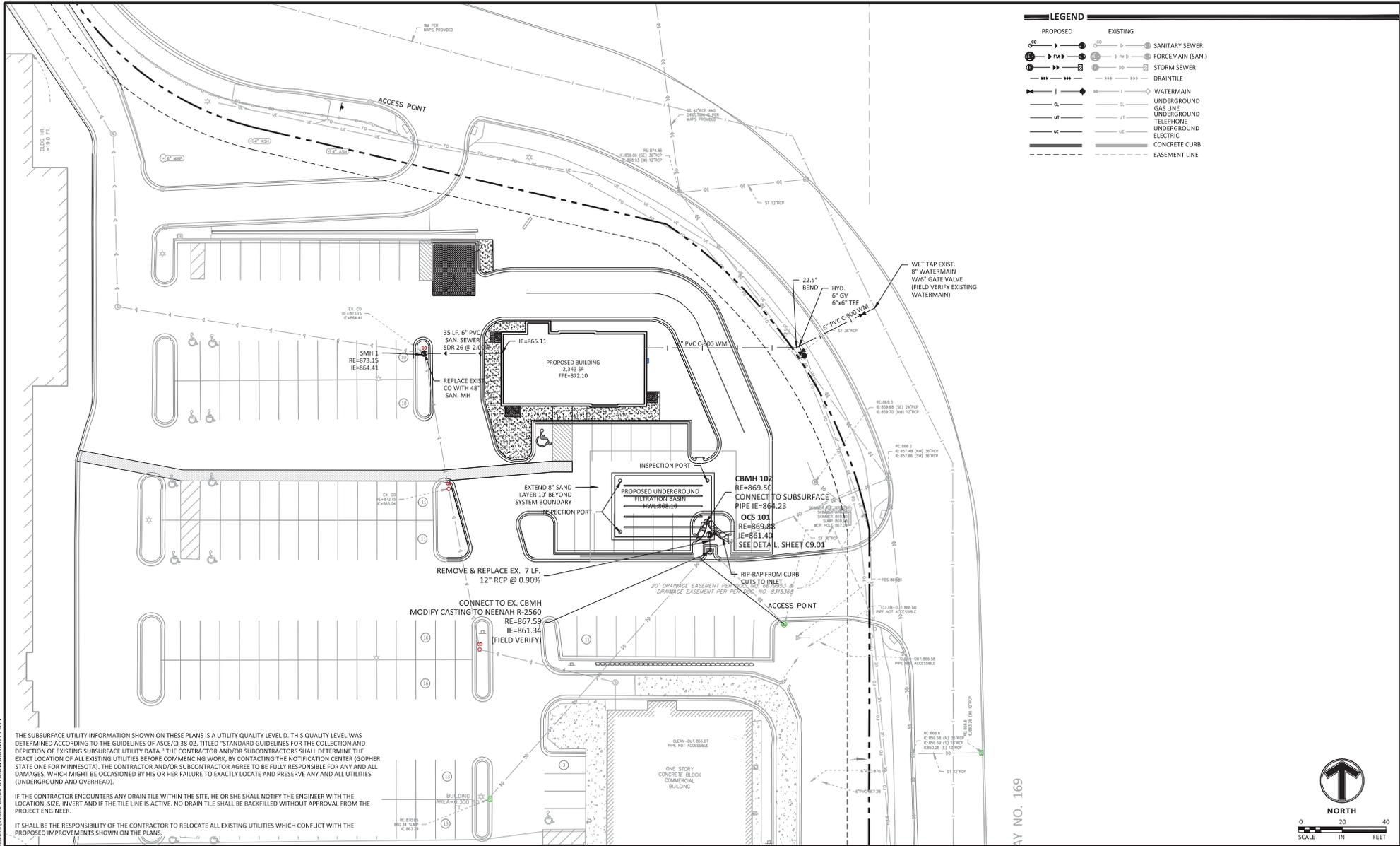
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Print Name: BRUCE RUSSELLMAN
Date: _____ License #: 44579

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EROSION CONTROL DETAILS	SHEET
JERRY'S ENTERPRISES, INC. PRESERVE VILLAGE EDEN PRAIRIE, MN	C5.04 OF REV. #



LEGEND		
PROPOSED	EXISTING	
		SANITARY SEWER
		FORCEMAIN (SAN.)
		STORM SEWER
		DRAINTILE
		WATERMAIN
		UNDERGROUND GAS LINE
		UNDERGROUND TELEPHONE
		UNDERGROUND ELECTRIC
		CONCRETE CURB
		EASEMENT LINE

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CE 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: BRUCE RUSSELLMAN

Date: _____ License # 44579

PRELIMINARY
05/30/2023
DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
TPK

DESIGNED BY
BDB

CHECKED BY
BDB

PROJECT NO.
51684

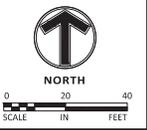


UTILITY PLAN

JERRY'S ENTERPRISES, INC.
PRESERVE VILLAGE

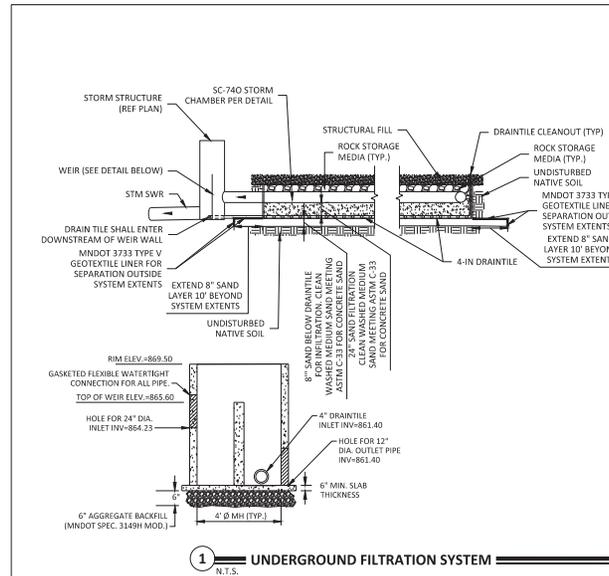
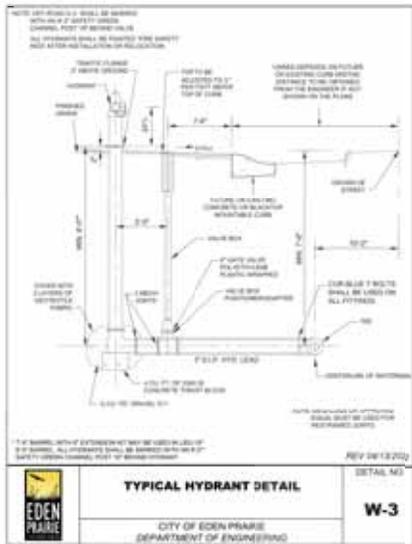
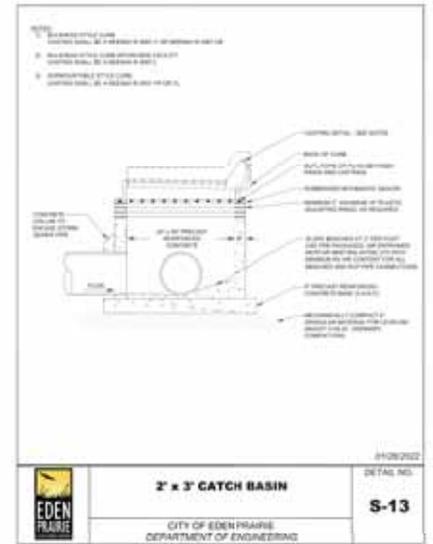
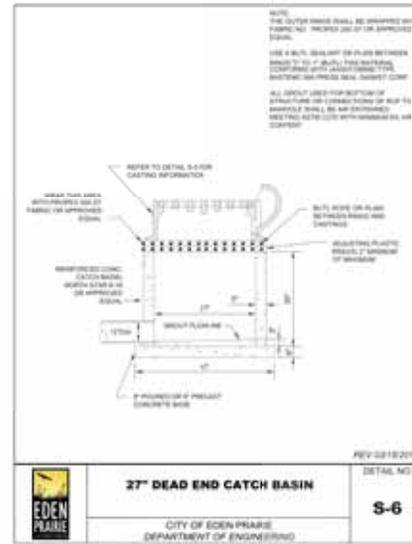
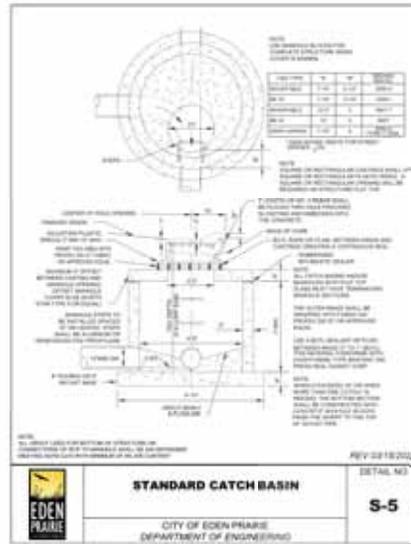
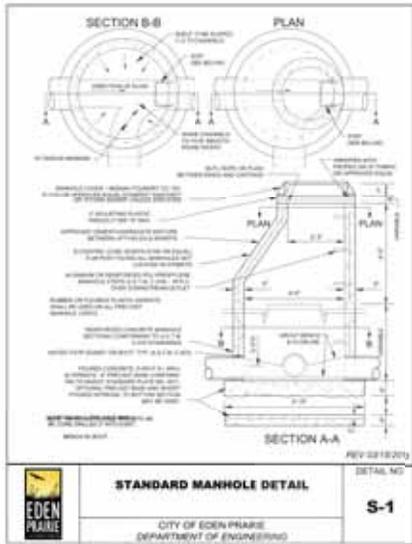
EDEN PRAIRIE, MN

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24.15 (AMS TECH) | ALEA STUIZ | 11/2/2023 9:37:33 AM | C:\PROJECTS\51684\DWG\HEETS\51684-C6.01-UTIL.DWG\UTILITY PLAN

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24.15 (AMS TECH) | ALEA, STUTZ | 11/15/2023 2:20:27 PM
C:\PROJECTS\151686\GDS\DWG\151686-001-DTLS.DWG DETAILS

NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: BRUCE RUSSELLMAN

Date: _____ License # 44579

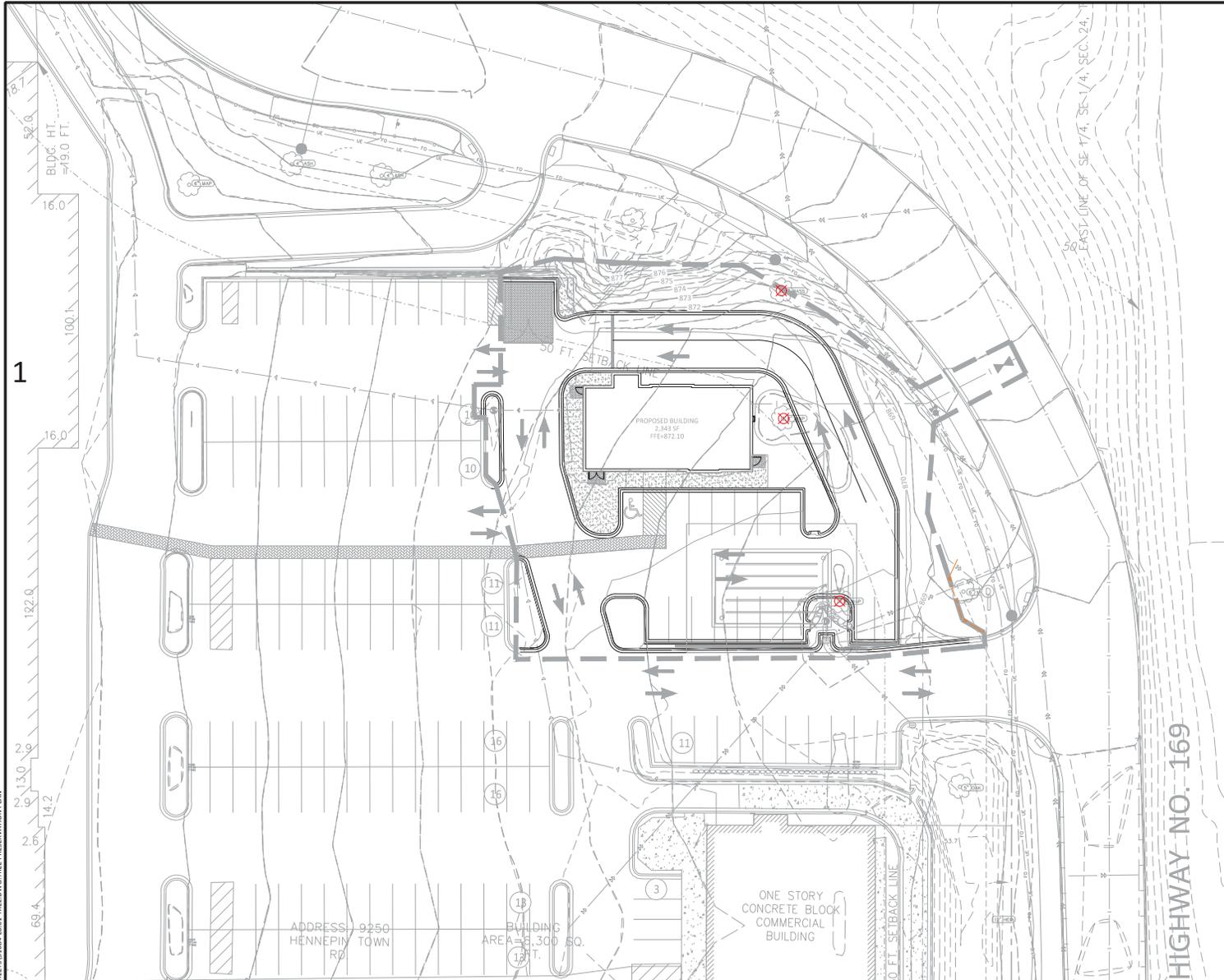
PRELIMINARY
05/30/2023
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CHECKED BY
BDB
PROJECT NO.
51684



DETAILS
JERRY'S ENTERPRISES, INC.
PRESERVE VILLAGE
EDEN PRAIRIE, MN

SHEET
C9.01
OF
REV. #



LEGEND

	PROPOSED	EXISTING	
PROPERTY LIMIT	---	---	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	---	---	CONCRETE PAVING
EASEMENT	---	---	CONCRETE SIDEWALK
BUILDING	---	---	
RETAINING WALL	---	---	
WETLAND LIMITS	---	---	
TREELINE	---	---	
LANDSCAPE EDGING	---	---	
STORM SEWER	---	---	
SANITARY SEWER	---	---	
FORCEMAIN (SAN.)	---	---	
WATERMAIN	---	---	
YARD/ROAD	---	---	
LIMITS OF DISTURBANCE	---	---	
TREE PROTECTION FENCE	---	---	
TREE TO BE REMOVED	---	---	
SIGN	---	---	
PIPE BOLLARD	---	---	
RIPRAP	---	---	

EDEN PRAIRIE TREE PRES. CODE

Tree	DBH	Status	Condition
Maple	6	Preserve	Good
Maple	8	Remove	Good
Maple	8	Remove	Good
Basswood	8	Remove	Good
Ash	8	Preserve	Good

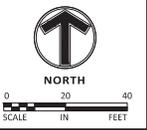
NOTE: NO TREES ON SITE QUALIFY AS SIGNIFICANT OR HERITAGE TREES. PER CITY COMMENTS, REMOVED TREES WILL BE REPLACED ON A 1:1 TREE BASIS TO MAINTAIN COMPLIANCE WITH THE ENTIRE LOT REQUIRED LANDSCAPE PLANS.

1

ADDRESS: 9250 HENNEPIN TOWN RD
 BUILDING AREA: 5,300 SQ. FT.

ONE STORY CONCRETE BLOCK COMMERCIAL BUILDING

HIGHWAY NO. 169



NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.
 Print Name: _____
 License # _____

PRELIMINARY
 05/30/2023
 DESIGN REVIEW
 PERMIT SUBMITTAL
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 CHECKED BY
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 51684



TREE PRESERVATION PLAN
 JERRY'S ENTERPRISES, INC.
 PRESERVE VILLAGE
 EDEN PRAIRIE, MN

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NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGES TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND Gopher State One Call 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.**
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH A 1" HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS @ 6" O.C. MAXIMUM SPACING.
- LONG TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-FERTILIZER SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGINS BRANCHING LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAP AS INDICATED IN THE LANDSCAPE LEGEND. PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY FOR REASONING OR AT ANY TIME.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: DOUBLE SHREDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DETERIORATING MATERIAL. IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS, SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 5" FOR SHRUB BEDS, TREE RINGS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- BUILDING MAINTENANCE STRIP: WHERE NO LANDSCAPE PLANTING BEDS EXIST ADJACENT TO A BUILDING FOUNDATION, CONTRACTOR SHALL INSTALL A DECORATIVE ROCK MAINTENANCE STRIP PER PLAN. DECORATIVE ROCK SHALL BE 1" DRESSER TRAP ROCK, GREY IN COLOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
- USE ANTI-DESCENDANT WILT/PRUNY OR APPROVED EQUAL ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- WRAP ALL SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1. TREE WRAPPING MATERIAL SHALL BE WHITE TWO-MILLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO THE FIRST BRANCH.
- ALL DECIDUOUS, PINE, AND LARCH PLANTINGS SHALL RECEIVE ROTROT PROTECTION PER W-202 (S7) 3.1.2.
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIBABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING REGULAR PLANT GROWTH. IT SHALL CONFORM WITH MINICOT SPECIFICATION S877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HANDPICK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.5 AND 7.5 AND 10-10-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HEDED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT EACH EXCAVATED TREE AND SHRUB PIT WILL PERCOLATE PRIOR TO INSTALLING PLANTING MEDIUM AND PLANTS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER AND CONFIRM THAT THIS WATER WILL PERCOLATE WITHIN A 24-HOUR PERIOD. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING SHALL BE RELOCATED IF DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK.

22.1. POTTED PLANTS:	4/15 - 6/15/9/21 - 11/1
22.2. DECIDUOUS TREES:	4/1 - 6/15/9/21 - 11/1
22.3. EVERGREEN POTTED PLANTS:	4/1 - 6/15/9/21 - 11/1
22.4. EVERGREEN BBS:	4/1 - 5/15/9/21 - 11/1
22.5. TURF/LAWN SEEDING:	4/1 - 6/15/7/20 - 9/20

- NATIVE MIX SEEDING: 4/15 - 7/20/9/20-10/20
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUDING OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADE, AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK, IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATORS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

TURF NOTES:

- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MINICOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW.
- ALL AREAS TO RECEIVE SOG SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOG. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1" INCHES IN ANY DIMENSION.
 - WHERE SOG IS PAVED SURFACES, FINISHED GRADE OF SOG/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
 - SOG SHALL BE LAID PAN-FLAT TO THE CONTIGUOUS AND SHALL HAVE STAGGERED JOINTS ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES. SOG SHALL BE STAKED SECURELY.
 - TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. SEED MIXTURE NO.25-123 SHALL BE PLACED AT THE RATE OF 65 POUNDS PER ACRE.
 - ALL DISTURBED AREAS TO BE TURF SEED, ARE TO RECEIVE 6" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
 - ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

GENERAL TREE SPECIFICATIONS:

- ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS:
 - 2" CAL - TREES: LOWEST BRANCH 6' HT.
 - 3" CAL - TREES: LOWEST BRANCH 7' HT.
- TREE CANOPY WIDTH SHALL BE RELATIVE TO HEIGHT/CALIPER OF TREE AND TYPE OF TREE.
 - 1" CALIPER/6'-6" HT. 3'-4' WIDTH MIN.
 - 2" CALIPER/12'-14" HT. 4'-5' WIDTH MIN.
 - 3" CALIPER/14'-16" HT. 6'-7' WIDTH MIN.
- CANOPY TREES SHALL NOT HAVE CO-DOMINANT LEADERS IN LOWER HALF OF TREE CROWN.
- ALL TREES SHALL HAVE SYMMETRICAL OR BALANCED BRANCHING ON ALL SIDES OF THE TREE.
- TREES SHALL NOT BE TOPPED PRIMED.
- TREES SHALL BE FREE OF PHYSICAL DAMAGE FROM SHIPPING AND HANDLING. DAMAGED TREES SHALL BE REJECTED.
- SLIMWATER TREES SHALL HAVE ROOTBALL SIZE INCREASED BY 20%.
- TREES WHICH EXCEED RECOMMENDED CALIPER TO HEIGHT RATIO SHALL BE REJECTED.

IRRIGATION NOTES:

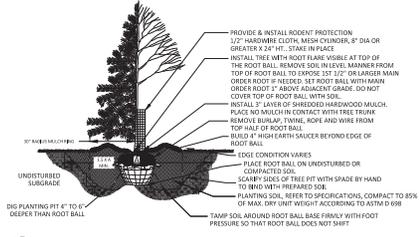
- IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- ALL SOG TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
- ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.
- CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.

LOW MAINTENANCE FESCUE NOTES:

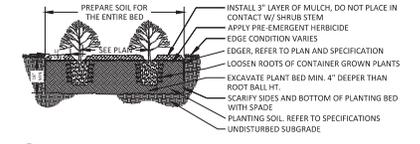
- DURING GROWING SEASON NEVER MOW SHORTER THAN 3.5 INCHES, PREFERRED MAINTENANCE IS MOW ONCE PER MONTH AT 5" HEIGHT.
- DO NOT USE HIGH NITROGEN FERTILIZER ON FESCUE LAWN.
- COVERED THIN BASE SPOTS IN FALL.
- ALWAYS USE SHARP BLADE WHEN MOWING TO AVOID TEARING LEAF BLADE.
- SET MOWER TO 3" FOR BAGGING AND MOWING IN LATE FALL AFTER GROWING SEASON.

NATIVE SEED MIX NOTES:

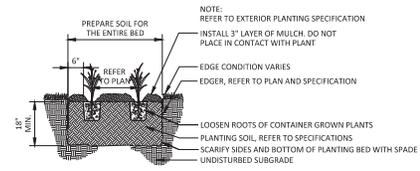
- ESTABLISHMENT AND REAR ONE: MOW THREE(3) TIMES FIRST YEAR ON 30-DAY INTERVALS TO A HEIGHT BETWEEN FIVE AND EIGHT INCHES. DO NOT USE FERTILIZERS. SPOT TREAT INVASIVE WOODY PLANTS OR HAND WEED INDIVIDUAL NOXIOUS WEEDS.
- YEAR TWO: PERFORM ONE MOWING BETWEEN MID-JUNE AND MID-AUGUST. SPOT SPRAY WEEDS AS NEEDED WHERE THEY ARE ESPECIALLY DOMINANT.
- YEAR THREE (AND BEYOND): CUT ONE TIME PER YEAR AS A CLEAN UP PROCEDURE (ETHER IN EARLY MAY OR LATE NOVEMBER). PRESCRIBED BURNS MAY BE USED AS WELL IN PLACE OF MOWING. CHECK LOCAL REGULATIONS AND PERMIT PROCEDURES.



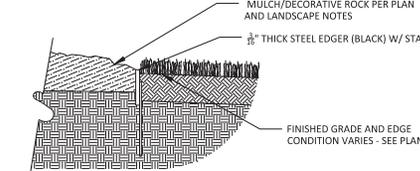
1 TREE PLANTING DETAIL
1/4" = 1'-0"
P-01



2 SHRUB PLANTING DETAIL
3/8" = 1'-0"
P-02



3 PERENNIAL PLANTING DETAIL
1/2" = 1'-0"
P-03



4 STEEL EDGER
1 1/2" = 1'-0"
P-06

24.15 (AMS TECH) | ALEA STUTZ | 11/13/2023 9:17:22 AM | C:\PROJECTS\1686\CAD\DWG\1686-1-01-TREE.DWG | L-1.02 LANDSCAPE NOTES & DETAILS

NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Print Name: **ANDREW J. WOODRUM**

Date: _____ License # **59119**

PRELIMINARY 05/30/2023

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CONSTRUCTION DOCUMENTS

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PROJECT NO. 51684

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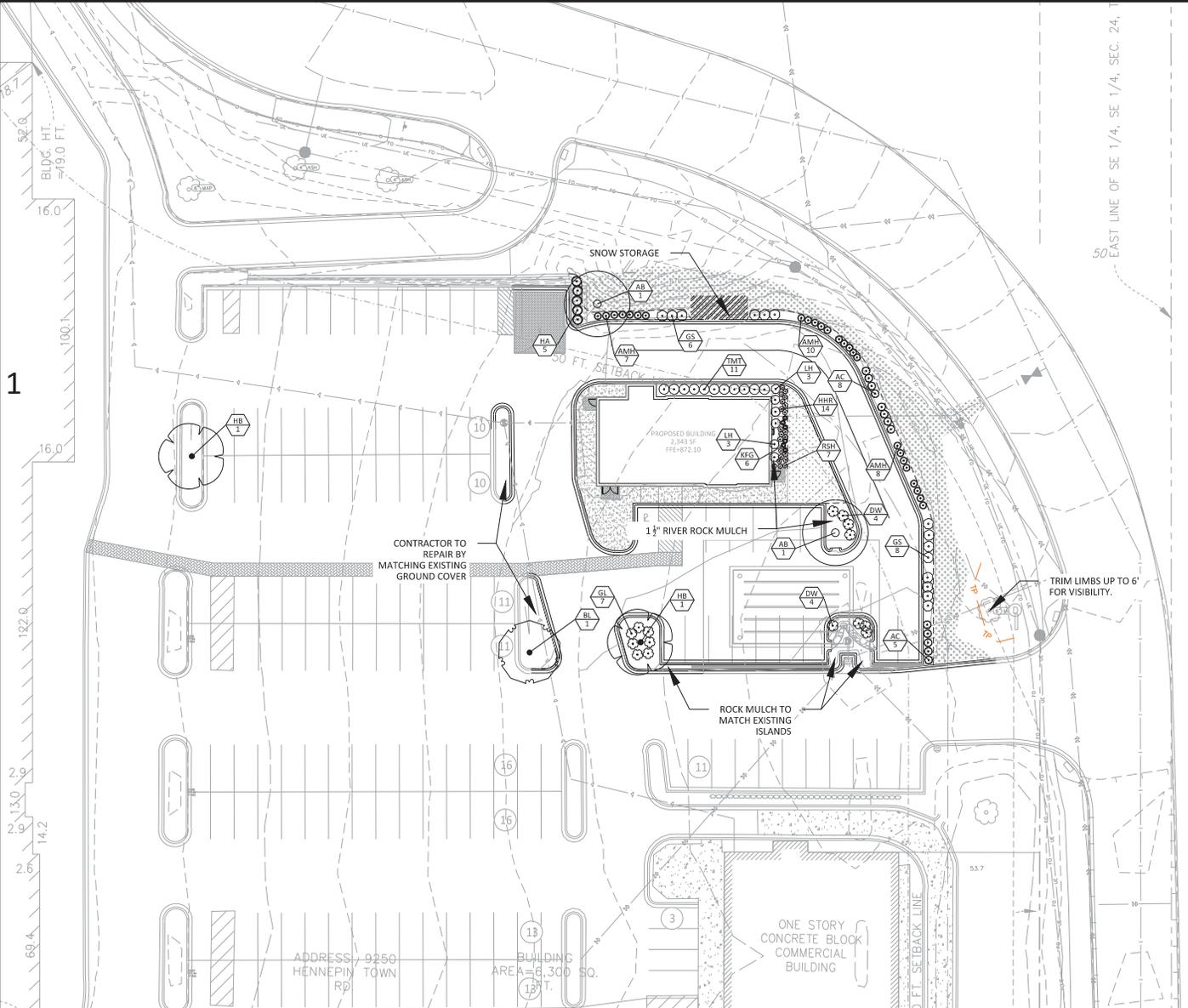
LANDSCAPE DETAILS AND NOTES

JERRY'S ENTERPRISES, INC.
PRESERVE VILLAGE

EDEN PRAIRIE, MN

SHEET **L-1.02**
OF
REV. #

24.15 (LMS TECH) | ALFA STUIZ | 11/17/2023 10:53:38 AM
 C:\PROJECTS\1686\GIS\DWG\LANDSCAPE PLAN



LEGEND

PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
PROPERTY LIMIT	---	CONCRETE PAVING
CURB & GUTTER	---	CONCRETE SIDEWALK
EASEMENT	---	
BUILDING	---	
RETAINING WALL	---	
WETLAND LIMITS	---	
TREELINE	---	
LANDSCAPE EDGING	---	
STORM SEWER	---	
SANITARY SEWER	---	
FORCEMAIN (SAN.)	---	
WATERMAIN	---	
YARD/ROADWAY	---	
LIMITS OF DISTURBANCE	---	
TREE PROTECTION FENCE	---	
SIGN	---	
PIPE BOLLARD	---	
RIPRAP	---	

EDEN PRAIRIE LANDSCAPE CODE

CALCULATIONS
 SECTION 11.03 G. 5. B. CALIPER INCHES REQUIRED IS DETERMINED BY BUILDING SF DIVIDED BY 320 (2,356SF / 320 = 7.36 INCHES)
 SECTION 11.03 G. 5. Q. SCREENING OF PARKING AND DRIVE THROUGH (MIN 3' IN HEIGHT AND 75% OPACITY) 78
 PARKING AREAS (INCLUDING DRIVE AISLES): 15,113 SF 756 SF 1,111 SF (7.3%)
 TREE REPLACEMENTS 3 TREES 3 TREES

PLANT SCHEDULE

PLANT	QUANTITY	REMARKS
1.00	1	Planting
1.01	1	Planting
1.02	1	Planting
1.03	1	Planting
1.04	1	Planting
1.05	1	Planting
1.06	1	Planting
1.07	1	Planting
1.08	1	Planting
1.09	1	Planting
1.10	1	Planting
1.11	1	Planting
1.12	1	Planting
1.13	1	Planting
1.14	1	Planting
1.15	1	Planting
1.16	1	Planting
1.17	1	Planting
1.18	1	Planting
1.19	1	Planting
1.20	1	Planting
1.21	1	Planting
1.22	1	Planting
1.23	1	Planting
1.24	1	Planting
1.25	1	Planting
1.26	1	Planting
1.27	1	Planting
1.28	1	Planting
1.29	1	Planting
1.30	1	Planting
1.31	1	Planting
1.32	1	Planting
1.33	1	Planting
1.34	1	Planting
1.35	1	Planting
1.36	1	Planting
1.37	1	Planting
1.38	1	Planting
1.39	1	Planting
1.40	1	Planting
1.41	1	Planting
1.42	1	Planting
1.43	1	Planting
1.44	1	Planting
1.45	1	Planting
1.46	1	Planting
1.47	1	Planting
1.48	1	Planting
1.49	1	Planting
1.50	1	Planting

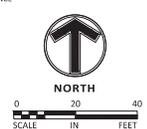
SNOW REMOVAL

SNOW REMOVAL PROCEDURE

- WHEN THE DEPTH OF SNOW IN THE PARKING LOT IS BETWEEN 2"-4" PLOWING SHALL BEGIN.
- THE PARKING SURFACE FOR VEHICLES WILL ONLY BE CLEARED AFTER ALL VEHICLES HAVE DEPARTED THE LOT.

NOTES:

- SNOW STORAGE MAY NOT COVER ANY PARKING SPACE.
- SNOW STORAGE AREAS MAY BE CHANGED BASED ON OWNERS PREFERENCE
- SNOW STORAGE MAY NOT BE PLACED IN ANY OF THE FOLLOWING AREAS:
 - ON TOP OF STORM DRAINS
 - ON LANDSCAPE ISLANDS
 - IN FRONT OF DUMPSTER ENCLOSURES
 - WITHIN SITE SIGHT LINES
 - UPGRADE FROM ANY SALT STORAGE FACILITIES



NO	DATE	BY	CKD	APPR	COMMENT
1	11-08-23	TPK	BDB	BDB	REVISED DOCUMENTS PER NEW LAYOUT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.
 Print Name: _____
 License # _____

PRELIMINARY
 05/30/2023
 DESIGN REVIEW
 PERMIT SUBMITTAL
 CONSTRUCTION DOCUMENTS

DRAWN BY
 MIL
 DESIGNED BY
 MIL
 CHECKED BY
 JRW
 PROJECT NO.
 51684



LANDSCAPE PLAN
 JERRY'S ENTERPRISES, INC.
 PRESERVE VILLAGE
 EDEN PRAIRIE, MN

SHEET
L1.01
 OF
 REV. #

