

Riley Purgatory Bluff Creek Watershed District Permit Application Review

Permit No: 2023-045

Considered at Board of Managers Meeting: February 7, 2024

Received complete: December 26, 2023

Applicant: Level 7 Development LLC, Bahram Akradi

Consultant: Landform Professional Services, Steve Sabraski

Project: Avienda Rowhomes– the applicant proposes construction of phase 3 of the Avienda development, which involves construction of 53 row homes (three- and four-unit buildings) with driveways and patios, private roads, utilities, and stormwater management facilities. The stormwater management system includes 2 tree trenches, a bioretention basin, rainwater harvest and reuse system, a manufactured treatment device, along with modifications to two existing onsite stormwater facilities, all to provide runoff volume abstraction, water quality treatment, and rate control.

Location: SW corner of Powers and Lyman Boulevard Chanhassen, Minnesota

Reviewer: Scott Sobiech, PE, Barr Engineering

Potential Board Variance Action

Manager _____ moved and Manager _____ seconded adoption of the following resolution based on the permit report that follows, the presentation of the matter at the February 7, 2024, meeting of the managers and the managers' findings, as well as the factual findings in the permit report that follows:

Resolved that the variance request for Permit 2023-045 from compliance with Rule B, subsection 3.2b is approved, based on the facts and analysis provided by the RPBCWD engineer below and placed in the record at the February 7, 2024 meeting of the managers, and the managers' findings in the record of the February 7 meeting, and subject to the following conditions: 1. [CONDITION(S)],

Proposed Board Action

Manager _____ moved and Manager _____ seconded adoption of the following resolutions based on the permit report that follows and the presentation of the matter at the February 7, 2024 meeting of the managers:

Resolved that the application for Permit 2023-045 is approved, subject to the conditions and stipulations set forth in the Recommendations section of the attached report;

Resolved that on determination by the RPBCWD administrator that the conditions of approval of the permit have been affirmatively resolved, the RPBCWD president or administrator is authorized and directed to sign and deliver Permit 2023-045 to the applicant, on behalf of RPBCWD.

Upon vote, the resolutions were adopted, _____ [VOTE TALLY].

Applicable Rule Conformance Summary

Rule	Issue	Conforms to RBPCWD Rules?	Comments	
B	Floodplain Management and Drainage Alterations	No	See Rule K Variance discussion for compensatory storage not being provided within the floodplain of the same waterbody.	
C	Erosion Control Plan	See comment	See rule-specific permit condition C1 related to identifying erosion prevention on the erosion control plan.	
J	Stormwater Management	Rate	Yes	
		Volume	Yes	
		Water Quality	Yes	
		Low Floor Elev.	Yes	
		Maintenance	See comment	See rule-specific permit condition J1 related to recordation of stormwater facilities maintenance declaration.
		Chloride Management	See comment	See stipulation #3 related to providing an executed chloride management plan prior to permit close-out.
		Wetland Protection	Yes	
L	Permit Fee Deposit	Yes	\$3,000 deposit fee received August 17, 2023. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. As of January 22, 2024, the amount due is \$9,827.	
M	Financial Assurance	See Comment	The financial assurance is calculated at \$844,355	

Background

The site is 43.3 acres at the southwest corners of Lyman Boulevard (County Road 18) and Powers Boulevard (County Road 17) north of U.S. Highway 212 in Chanhassen. The site was mass graded consistent with RPBCWD permit 2018-016 – Avienda and subsequent permit modification (May 4, 2022). The current proposed redevelopment of the site will include the construction of 53 row homes (three- and four-unit buildings) with driveways and patios, private roads, utilities, and stormwater management facilities. The stormwater management system includes 2 tree trenches, a bioretention basin, rainwater harvest and reuse system, a manufactured treatment device, and modifying two existing stormwater facilities to provide runoff volume abstraction, water quality treatment, and rate control.

There are no on-site Wetland Conservation Act-protected wetlands for which wetland buffers would be required because the local governmental unit administering the Wetland Conservation Act, City of Chanhassen, approved the filling of the four onsite wetlands as part of its approval of phase 1 of the

Avienda development. As discussed in more detail below, there are two downgradient wetlands that receive runoff from the site.

The project site information is summarized in the following table.

Project site information	
Site Information	Project Area
Total Site Area (acres)	43.37
Existing Site Impervious Area (acres)	0.46
Post Construction Site Impervious (acres)	4.19
New (increase) in Site Impervious Area (acres)	4.06
Percent increase in Impervious Surface	>100%
Disturbed Site Impervious Area (acres)	0.46
Percent Disturbance of Existing Impervious Surface	100%
Regulated impervious area (acres)	4.19
Total Disturbed Area (acres)	8.35

Exhibits:

1. Permit application dated July 24, 2023 (Notified applicant on August 11, 2023 and December 5, 2023 that submittal was incomplete, revised materials completing the application received December 26, 2023)
2. Stormwater Management Plan dated July 21, 2023 (revised November 21, 2023 and December 22, 2023)
3. Geotechnical Evaluation Report dated June 23, 2023
4. Double Ring Infiltrometer testing results dated October 8, 2021 (Braun Intertec)
5. Project Civil Plan and Landscape Plans dated July 24, 2023 (revised November 21, 2023, December 22, 2023, and January 12, 2024)
6. Existing and Proposed electronic HydroCAD Model received July 24, 2023 (revised November 21, 2023 and December 26, 2023)
7. Existing and Proposed MIDS Model results report received July 24, 2023 (proposed conditions model revised November 21, 2023 and December 26, 2023)
8. Review Responses dated November 21, 2023
9. Engineer’s Estimate of Probable Construction Cost spreadsheet received November 21, 2023 (revised January 12, 2024)
10. Review Responses dated November 26, 2023

Rule Specific Permit Conditions

Rule B: Floodplain Management and Drainage Alterations

Because the proposed redevelopment project involves the placement of 420 cubic yards of fill below the 100-year flood elevation (914.31 ft) of existing stormwater detention facility (28P) to reconfigure the facility and the placement of 3,357 cubic yards of fill below the 100-year flood elevation (916.67 ft) of the existing

filtration basin 47Pexto replace the basin with a subsurface stormwater facility, the project activities must conform to the RPBCWD’s Floodplain Management and Drainage Alterations rule (Rule B).

Because the applicant proposes new structures, the project must conform with low floor elevation requirements set forth by Rule B, Subsection 3.1 which references the low floor criteria in Rule J, subsection 3.6. All new buildings must be constructed such that the lowest floor is at least two feet above the 100-year high-water elevation or one foot above the natural overflow of a waterbody according to Rule J, Subsection 3.6a. In addition, a stormwater-management facility must be constructed at an elevation that ensures that no adjacent habitable building will be brought into noncompliance with this requirement according to Rule J, Subsection 3.6b. Low floor requirements were evaluated for 14 proposed structures adjacent stormwater facilities. The results demonstrate the provided freeboard is greater than the minimum required, thus complying with Rule B, Subsection 3.1.

Structure (Block – Lot)	Low Floor Elevation of Building (ft)	Stormwater Facility	100-year Event Flood Elevation of Stormwater Facility (ft)	Freeboard to 100-year Event (ft)
Building A	923.98	NW Tree Trench (8P)	920.87	3.11
Building B	924.93	Existing Detention Basin (28P)	914.37	10.56
Building C	924.58	Biofiltration Basin (13P)	917.19	7.39
Building D	925.28	Biofiltration Basin (13P)	917.19	8.09
Building E	925.98	Biofiltration Basin (13P)	917.19	8.79
Building F	925.73	SW Tree Trench (6P)	920.96	4.77
Building G	924.73	SW Tree Trench (6P)	920.96	3.77
Building H	923.53	SW Tree Trench (6P)	920.96	2.57
Building I	924.78	SW Tree Trench (6P)	920.96	3.82
Building J	925.33	SW Tree Trench (6P)	920.96	4.37
Building K	926.08	SW Tree Trench (6P)	920.96	5.12
Building L	925.78	NW Tree Trench (8P)	920.87	4.91
Building M	925.18	NW Tree Trench (8P)	920.87	4.31
Building N	924.53	NW Tree Trench (8P)	920.87	3.66

Placement of fill below the 100-year flood elevation is prohibited unless fully compensatory flood storage is provided within the same floodplain and at or below the same elevation for fill in the floodplain of a water basin (Rule B, Subsection 3.2b). The supporting materials summarized in the following table demonstrate, and the RPBCWD Engineer concurs, that an aggregate total of 3,777 cubic yards of fill will be placed in the two existing basins and 5,227 cubic yards of compensatory storage will be created by regrading stormwater detention facility 28P, constructing the underground stormwater facility 47P, and constructing the biofiltration basin 13P, thus providing a net increase in the floodplain storage. Because some of the compensatory storage for the fill in basin 47Pex will be provided by the proposed biofiltration basin, which is not within the floodplain of the same stormwater facility as the fill, the applicant as requested a variance from this requirement of Rule B, Subsection 3.2. See the Rule K discussion for additional information on the variance request.

Stormwater Facility	100-Year Elevation (feet)	Proposed Fill (CY)	Proposed Feature Providing Compensatory Storage	Proposed Compensatory Storage (CY)
Pond 28P	914.31	420	Pond 28P (reconstructed)	540
Basin 47Pex	916.67	3,357	Facility 47Ppro	1,272
			Biofiltration Basin	3,415
Total		3,777		5,227

Because filling in existing stormwater facilities (Pond 28P and basin 47Pex) to facilitate site development and providing alternative compensatory storage areas will alter the timing and duration of flows leaving the site, the applicant must demonstrate that the alterations will not have an adverse offsite impact and will not adversely affect flood risk, basin or channel stability, groundwater hydrology, stream baseflow, water quality, or aquatic or riparian habitat (Rule B subsection 3.3). The RPBCWD engineer concurs with the applicant’s use of Board of Water and Soil Resources’ Recommended Wetland Management Standards: Minnesota Routine Assessment Method for Evaluating Wetland Functions, Version 3.0 to demonstrate the change in hydrology will not adversely impact the downstream wetlands. These are the same criteria listed in Table J1 of the stormwater rule for wetland protection. The analysis presented under the Wetland Protection section of the Rule J analysis shows the project aligns with BWSR’s recommended wetland management standard and RPBCWD wetland protection criteria, thus the applicant has demonstrated the project will not adversely impact the downstream wetlands.

The applicant also provided pre- and post-project water quality modeling to demonstrate no adverse impact to water quality. The modeling results show the total suspended solids and total phosphorus load leaving the site after the development will be less than the existing load leaving the site (see Water Quality section of the Rule J analysis). In addition, the applicant’s modeling indicates the peak discharge rates leaving the site are less under proposed conditions than for existing conditions. These also support the engineer’s determination that the project is not reasonably likely to adversely affect flood risk, basin or channel stability, or stream baseflow, thus meeting the requirements of Rule B, subsection 3.3.

Because no watercourses exist on the site, Rule B, Subsection 3.4 does not impose requirements on the project. See Rule C analysis of the applicant’s submitted erosion control plan to demonstrate conformance with Rule B, Subsection 3.5. A note on the plans indicates that activities must be conducted to minimize the potential transfer of aquatic invasive species conforming to Rule B, Subsection 3.6.

With the exception of compensatory storage within the floodplain of the same waterbody (subsection 3.2), which is the subject of the applicant’s variance request, the proposed project conforms to the floodplain management and drainage alteration requirements of Rule B.

Rule C: Erosion Prevention and Sediment Control

Because the applicant proposes to alter of 8.35 acres of land-surface area or vegetation, the project must conform to the erosion prevention and sediment control requirements established in Rule C.

The erosion control plan prepared by Landform Professional Services includes installation of perimeter control (silt fence or sediment control logs), a stabilized rock construction entrance, inlet protection, weekly inspection, staging areas, placement of a minimum of 6 inches of topsoil (at 5% organic matter), and decompaction of areas compacted during construction. To conform to RPBCWD Rule C requirements, the following revisions are needed:

- C1. The Applicant must provide the name and contact information of the individual responsible for erosion control at the site. RPBCWD must be notified if the responsible individual changes during the permit term.

Rule J: Stormwater Management

Because the project will disturb 8.35 acres of land-surface area, the project must meet the criteria of RPBCWD's Stormwater Management rule (Rule J, Subsection 2.1). The criteria listed in Subsection 3.1 will apply to the entire project site because the site activity will disturb more than 50 percent of the existing impervious surface on the parcel (Rule J, Subsection 2.3).

The applicant is proposing construction 2 tree trenches, a bioretention basin, rainwater harvest and reuse system, a manufactured treatment device, and modifying two existing stormwater facilities to provide runoff volume abstraction, water quality treatment, and rate control. Pretreatment of runoff prior to entering filtration areas is provided by grass strips or sump manholes, thus the proposed project conforms with RPBCWD Rule J, Subsection 3.1b.1.

Rate Control

To meet the rate control criteria listed in Subsection 3.1.a, the 2-, 10-, and 100-year post development peak runoff rates must be equal to or less than the existing discharge rates at all locations where stormwater leaves the site. The applicant used a HydroCAD hydrologic model to simulate runoff rates for existing and post-development conditions for the 2-, 10-, and 100-year frequency storm events using a nested rainfall distribution, and a 100-year frequency, 10-day snowmelt event. The existing and proposed 2-, 10-, and 100-year frequency discharges from the site are summarized in the table below. The proposed stormwater management plan will provide rate control in compliance with the RPBCWD requirements for the 2-, 10-, and 100-year events. Thus, the proposed project meets the rate control requirements in Rule J, Subsection 3.1a.

Existing and Proposed Peak Runoff Rates

Modeled Discharge Location	2-Year Discharge (cfs)		10-Year Discharge (cfs)		100-Year Discharge (cfs)		10-Day Snowmelt (cfs)	
	Ex	Prop	Ex	Prop	Ex	Prop	Ex	Prop
North (28P)	0.9	0.9	2.0	2.0	4.3	3.9	0.7	0.7
South (47P)	19.3	8.1	45.3	23.5	111.6	56.1	6.0	6.0
East (11.4P)	11.7	5.9	23.1	22.7	70.5	62.3	6.2	6.1

Volume Abstraction

Subsection 3.1.b of Rule J requires the abstraction onsite of 1.1 inches of runoff from the impervious surface of the parcel. An abstraction volume of 16,731 cubic feet is required from the 4.19 acres of regulated impervious area. Soil borings performed by Braun Intertec show that soils in the project area are predominately clay soils. Hydraulic conductivity testing by Bruan Intertec revealed infiltration rates of 0.0-0.02 in/hr beneath the proposed stormwater management features, indicating that infiltration is not feasible on this site. Because the engineer concurs that the soil boring information and infiltration testing support that the abstraction standard in subsection 3.1b of Rule J cannot practicably be met, the site is considered restricted and stormwater runoff volume must be managed in accordance with subsection 3.3 of Rule J.

For restricted sites, subsection 3.3 of Rule J requires rate control in accordance with subsection 3.1.a and that abstraction and water quality protection be provided in accordance with the following sequence:

- (a) Abstraction of 0.55 inches of runoff from site impervious surface determined in accordance with paragraphs 2.3, 3.1 or 3.2, as applicable, and treatment of all runoff to the standard in paragraph 3.1c; or
- (b) Abstraction of runoff onsite to the maximum extent practicable and treatment of all runoff to the standard in paragraph 3.1c; or
- (c) Off-site abstraction and treatment in the watershed to the standards in paragraph 3.1b and 3.1c.

Based on the measured hydraulic conductivity testing results, the applicant is proposing 2 tree trenches, a biofiltration basin, and rainwater harvesting and irrigation of available green space to provide volume abstraction. The abstraction volume provided by the irrigation is 6,500 cubic feet while the combined abstraction provided by the tree trenches and biofiltration basin is 2,063, thus complying with Rule J, Subsection 3.3.a. The designed abstraction performance for the project site is summarized in the table below.

Volume Abstraction Summary

Required Abstraction Depth (inches)	Required Abstraction Volume (cubic feet)	Provided Abstraction Depth (inches)	Provided Abstraction Volume (cubic feet)
0.55	8,358	0.56	8,563

Because the proposed stormwater reuse system requires consistent use at a specified rate (1.16 in/week) over the 3.63 acres of green space to meet District requirements, performance monitoring for the site will be required to ensure that the project provides the proposed volume abstraction.

Water Quality Management

Subsection 3.1.c of Rule J requires the Applicant to provide volume abstraction in accordance with 3.1b or least 60 percent annual removal efficiency for total phosphorus (TP), and at least 90 percent annual removal efficiency for total suspended solids (TSS) from site runoff, and no net increase in TSS or TP loading leaving the site from existing conditions. MIDS water quality models were developed to estimate the TP and TSS loading from the subwatersheds and the removal capacity of the proposed BMPs. The results of this modeling are summarized in the following tables. The results show the proposed project will remove sufficient TSS and TP to achieve an overall pollutant reduction in accordance with the required annual removals (Rule J, Subsection 3.2c).

Annual TSS and TP removal summary

Resource	Pollutant of Interest	Regulated Site Loading (lbs/yr)	Required Load Removal (lbs/yr)	Provided Load Reduction (lbs/yr)
Lake Susan	Total Suspended Solids (TSS)	4,174	3,757 (90%)	3,876 (92.9%)
	Total Phosphorus (TP)	23.0	13.8 (60%)	18.1(78.7%)
Bluff Creek	Total Suspended Solids (TSS)	723	651 (90%)	670 (92.6%)
	Total Phosphorus (TP)	4.0	2.4 (60%)	2.5 (63.3%)

Summary of net change in TSS and TP leaving the site

Resource	Pollutant of Interest	Existing Site Loading (lbs/yr)	Proposed Site Load after Treatment (lbs/yr)	Change (lbs/yr)
Lake Susan	Total Suspended Solids (TSS)	2,491	298	-2,193
	Total Phosphorus (TP)	13.7	9.2	-4.5
Bluff Creek	Total Suspended Solids (TSS)	1,360	53	-1,334
	Total Phosphorus (TP)	7.5	1.5	-6.0

Low floor Elevation

All new buildings must be constructed such that the lowest floor is at least two feet above the 100-year high water elevation or one foot above the emergency overflow of a stormwater-management facility according to Rule J, Subsection 3.6a. In addition, a stormwater-management facility must be constructed at an elevation that ensures that no adjacent habitable building will be brought into noncompliance with this requirement according to Rule J, Subsection 3.6b. The low floor elevation analysis presented above in the

Rule B, Floodplain Management analysis section of this report demonstrates the proposed project is in conformance with Rule J, Subsection 3.6a.

Because there are no existing structures adjacent to the proposed or modified stormwater management features, Rule J, Subsection 3.6b does not impose requirements on the project.

Maintenance

Subsection 3.7 of Rule J requires the submission of maintenance plan. All stormwater management structures and facilities must be designed for maintenance access and properly maintained in perpetuity to assure that they continue to function as designed. The following revisions are needed:

- J1. Permit applicant must submit a draft maintenance and inspection declaration to incorporate the facilities proposed under this application, including the appropriate permit number, pre-treatment facilities, reuse system, underground stormwater management facility, tree trenches, and biofiltration basin, proprietary stormwater device (a Jellyfish), and the modified existing stormwater facilities. Stormwater reuse rates and protection of greenspace to be irrigated must be included. A maintenance declaration template is available on the permits page of the RPBCWD website. (<http://www.rpbcwd.org/permits/>). A draft declaration must be provided for District review and approval prior to recording.

Chloride Management

Subsection 3.8 of Rule J requires the submission of chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan. To close out the permit and release the \$5,000 in financial assurance held for the purpose of chloride management, the permit applicant must provide a chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan at the site.

Wetland Protection

Because the proposed activities discharge to downstream wetlands and alter the discharge the wetlands receive from the site, the proposed activities must conform to RPBCWD wetland protection criteria (Rule J, subsection 3.10). The applicant provided and the Engineer concurs with the below analysis of potential wetland impacts based on Table J1 of RPBCWD Rule J.

Wetland WL4 and MNDOT M10, medium value wetlands, are located off but adjacent to the project site and receive direct runoff from the development. The following table summarizes the allowable change in bounce and inundation duration from Table J1 of RPBCWD Rule J. The information summarized in the following table also summarizes the applicant's analysis for wetland protection and the potential impacts on the wetlands. The project meets the Bounce and Inundation criterion and is in conformance with Rule J, subsection 3.10a.

Wetland	RPBCWD Wetland Value	Change in Bounce for, 10-Year Event (feet)	1-year change in Inundation Period (days)	2-year change in Inundation Period (days)	10-year change in Inundation Period (days)	Runout Control Elevation ¹
Rule J, Table J1 Criteria	Medium	Existing +/- 1.0 feet	Existing+2 days	Existing+2 days	Existing +14 days	0 to 1.0 ft above existing runout
Wetland WL4	Medium	-0.36	0.12	0.18	.018	No change
MNDOT M10	Medium	0.09	0	0	0	No change

Rule J, Subsection 3.10b requires that any discharge to a medium-value wetland be treated to the water quality treatment criteria in Rule J, subsection 3.1c. The applicant provided MID's modeling as summarized in the table below demonstrating the runoff from the disturbed areas tributary to wetlands will be treated in conformance with Rule J, Subsection 3.10b.

Wetland	Wetland Value	TSS Removal	TP Removal
Required		90.0%	60.0%
Wetland WL4	Medium	96.4%	66.8%
MNDOT M10	Medium	92.9%	78.7%

Rule K: Variances and Exceptions

Rule B subsection 3.2 requires compensatory flood storage within the floodplain of the same waterbody. The Applicant requested a variance from this provision of RPBCWD's Rule B – Floodplain Management and Drainage Alterations.

Rule K requires the Board of Managers to find that because of unique conditions inherent to the subject property the application of rule provisions will impose a practical difficulty on the Applicant. Assessment of practical difficulty is conducted against the following criteria:

1. how substantial the variation is from the rule provision;
2. the effect of the variance on government services;
3. whether the variance will substantially change the character of or cause material adverse effect to water resources, flood levels, drainage or the general welfare in the District, or be a substantial detriment to neighboring properties;
4. whether the practical difficulty can be alleviated by a technically and economically feasible method other than a variance. Economic hardship alone may not serve as grounds for issuing a variance if any reasonable use of the property exists under the terms of the District rules;
5. how the practical difficulty occurred, including whether the landowner, the landowner's agent or representative, or a contractor, created the need for the variance; and
6. in light of all of the above factors, whether allowing the variance will serve the interests of justice.

Rule B subsection 3.2 requires compensatory flood storage within the floodplain of the same waterbody. The Applicant requested variance from this provision of RPBCWD's Rule B – Floodplain Management and Drainage Alterations. Following is the RPBCWD engineer's assessment of information received relevant to the applicant's request for a variance from the requirement that the applicant provide compensatory flood storage within the floodplain of the same waterbody:

- Related to variance criterion 1 – The project will involve 3,357 cubic yards of fill in Basin 47Pex and only 1,272 cubic yards of compensatory storage in the proposed underground treatment facility within the same floodplain, a 62% shortfall from the requirement. This flood storage is also used for stormwater management on the site.

Stormwater Facility	100-Year Elevation (feet)	Proposed Fill (CY)	Proposed Feature Providing Compensatory Storage	Proposed Compensatory Storage (CY)	Shortfall
Basin 47Pex	916.67	3,357	Facility 47Ppro	1,272	62%
			Biofiltration Basin	3,415	NA
Total		3,357		4,687	

- With regard to variance criteria 2 and 3 – Because the proposed project will reduce the site discharge volume and rate leaving the site relative to existing conditions, as discussed in the Rule J analysis, the proposed project is not reasonably likely to cause off-site adverse impacts. Because the project involves a net increase of storage used for stormwater management and a reduction in peak discharge rate leaving the site, the proposed alterations are not likely to adversely affect offsite governmental services, water resources, flood levels, or neighboring properties. The proposed variance only impacts the applicant’s property.
- Technical measures incorporated into the project plan to alleviate the practical difficulty (variance criterion 4) include creation of compensatory flood storage volume in the proposed biofiltration basin to comply with RPBCWD regulatory requirements, but not within the same floodplain. The applicant also proposed to redirect runoff from 5.8 acres that is tributary to the existing filtration basin and to the proposed biofiltration basin to mitigate the impact of the reduced storage provided in the proposed underground facility resulting in roughly 56% less runoff being tributary to the proposed facility. The applicant’s proposed routing of developed site runoff to the proposed stormwater management facilities will allow the runoff to be stored in the facilities resulting in reduced site discharge as summarized in the rate control analysis of Rule J above.
- With regard to variance criterion 5, the applicant has created the circumstances leading to the variance by replacing the existing surface filtration basin with an underground stormwater facility.

Because the proposed project will change stormwater routing on the site, results in a net increase flood storage, and only impact the applicant property, the engineer finds there is an adequate technical basis for the managers to rely on to grant the requested variance.

Rule L: Permit Fee

The RPBCWD permit fee schedule adopted in February 2020 requires permit applicants to deposit \$3,000 to be held in escrow and applied to cover the \$10 permit-processing fee and reimburse RPBCWD for permit review and inspection-related costs and when a permit application is approved, the deposit must be replenished to the applicable deposit amount by the applicant before the permit will be issued to cover

actual costs incurred to monitor compliance with permit conditions and the RPBCWD Rules. A permit fee deposit of \$3,000 was received on August 17, 2023. The applicant has not provided the additional \$2,000 fee related to the variance request, which was submitted on December 26, 2023. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. Subsequently, if the costs of review, administration, inspections and closeout-related or other regulatory activities exceed the fee deposit amount, the applicant will be required to replenish the deposit to the original amount or such lesser amount as the RPBCWD administrator deems sufficient within 30 days of receiving notice that such deposit is due. The administrator will close out the relevant application or permit and revoke prior approvals, if any, if the permit-fee deposit is not timely replenished.

- L1. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. As of January 22, 2024 the amount due is \$9,827.

Rule M: Financial Assurance

	Unit	Unit Cost	# of Units	Total
Rules C: Silt fence:	LF	\$2.50	4,062	\$10,155
Inlet protection	EA	\$100	88	\$8,800
Rock Entrance	EA	\$250	2	\$500
Restoration	Ac	\$2,500	8.35	\$20,875
Rules J: Chloride Management	LS	\$5,000	1	\$5,000
Rules J: Stormwater Management: 125% of engineer’s opinion of cost (\$581,813*1.25)	EA	125% OPC	1	\$727,266
Contingency (10%)		10%		\$767,596
Total Financial Assurance				\$844,355

Applicable General Requirements:

1. The RPBCWD Administrator and Engineer shall be notified at least three days prior to commencement of work.
2. Construction shall be consistent with the plans and specifications approved by the District as a part of the permitting process. The date of the approved plans and specifications is listed on the permit.
3. Construction must be consistent with the plans, specifications, and models that were submitted by the applicant that were the basis of permit approval. The date(s) of the approved plans, specifications, and modeling are listed on the permit. The grant of the permit does not in any way relieve the permittee, its engineer, or other professional consultants of responsibility for the permitted work.
4. The grant of the permit will not relieve the permittee of any responsibility to obtain approval of any other regulatory body with authority.
5. The issuance of this permit will not convey any rights to either real or personal property, or any exclusive privileges, nor will it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
6. In all cases where the doing by the permittee of anything authorized by this permit involves the taking, using or damaging of any property, rights or interests of any other person or persons, or of

any publicly owned lands or improvements or interests, the permittee, before proceeding therewith, must acquire all necessary property rights and interest.

7. RPBCWD's determination to approve the permit application was made in reliance on the information provided by the applicant. Any substantive change in the work affecting the nature and extent of applicability of RPBCWD regulatory requirements or substantive changes in the methods or means of compliance with RPBCWD regulatory requirements must be the subject of an application for a permit modification to the RPBCWD.
8. If the conditions herein are met and the permit is issued by RPBCWD, the applicant, by accepting the permit, grants access to the site of the work at all reasonable times during and after construction to authorized representatives of the RPBCWD for inspection of the work.

Findings

1. The proposed project includes the information necessary, plan sheets and erosion control plan for review.
2. The proposed project conforms to Rule B except the applicant has requested a variance from compliance with the Rule B criteria related to compensatory storage within the same floodplain.
3. The proposed project will conform to Rules C and J if the Rule Specific Permit Conditions listed above are met.

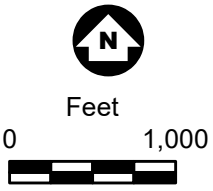
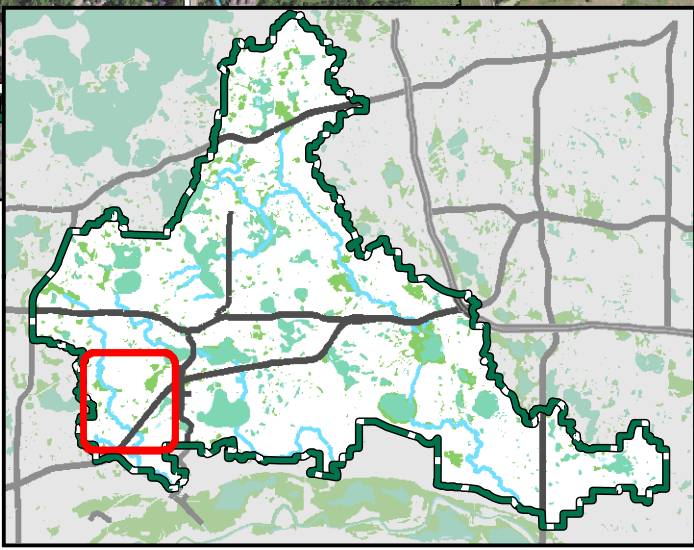
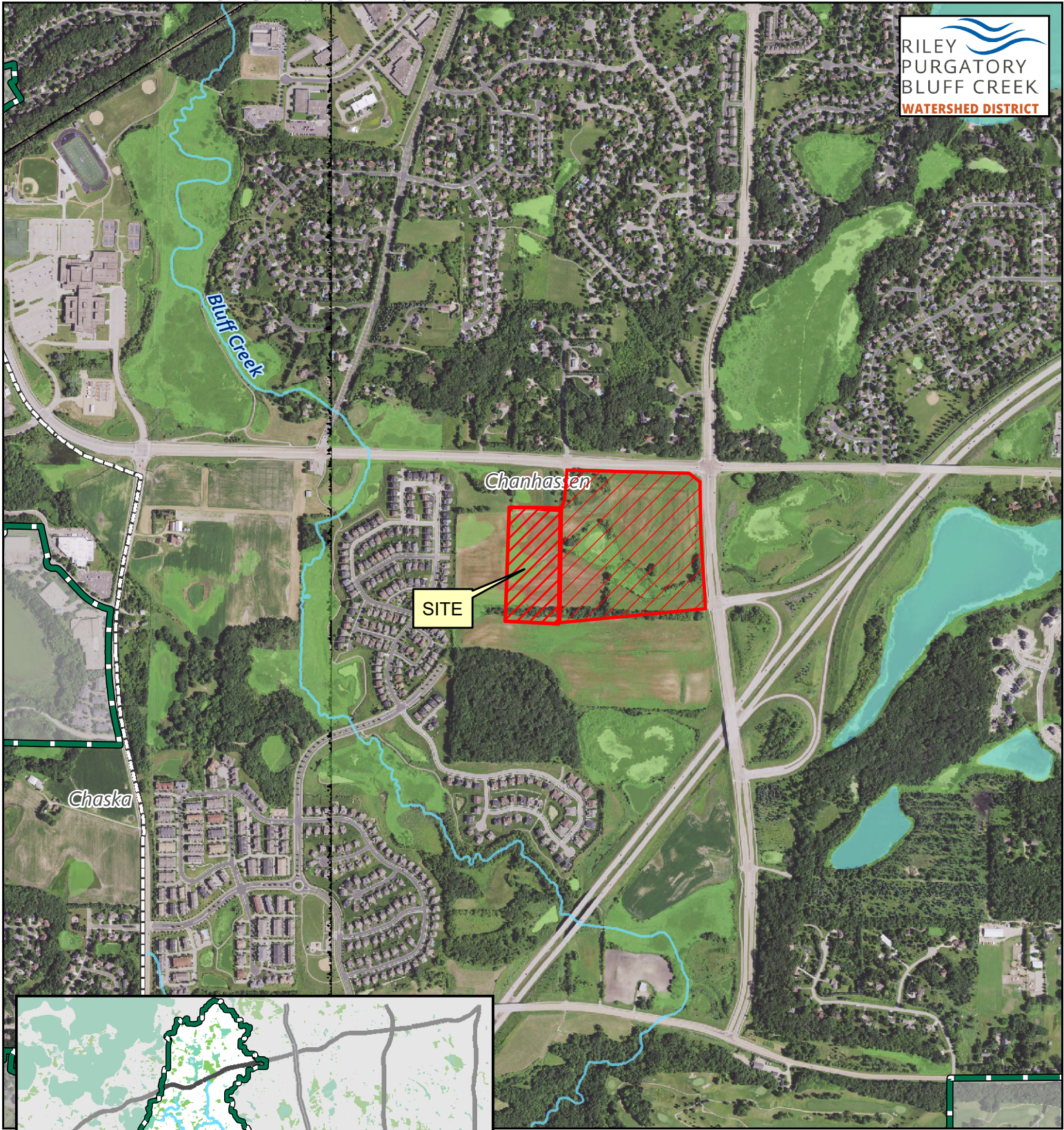
Recommendation:

Approval of the permit contingent upon:

1. Financial Assurance in the amount of \$844,355.
2. Permit applicant must provide the name and contact information of the general contractor responsible for the site. RPBCWD must be notified if the responsible party changes during the permit term.
3. Permit applicant must submit a draft maintenance and inspection declaration to incorporate the facilities proposed under this application, including the appropriate permit number, pre-treatment facilities, 2 tree trenches, a bioretention basin, rainwater harvest and reuse system, a Jellyfish manufactured treatment device, and modifying two existing stormwater facilities. The agreement must also include a stormwater reuse monitoring and reporting plan that includes protection of the greenspace to be irrigated and metering of the volume of reuse, as well as maintenance specifics provided by the manufacturer(s) or installer(s) for the proprietary system and be consistent with the MPCA's manufactured treatment device maintenance provisions in the MN Stormwater Manual. The draft agreement must be reviewed and approved by RPBCWD prior to execution as a condition of issuance of the permit.
4. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. The amount needed to replenish the permit fee deposit is \$9,827 as of January 22, 2024.

By accepting the permit, when issued, the applicant agrees to the following stipulations:

1. Continued compliance with General Requirements.
2. Per Rule J Subsection 4.5, upon completion of the site work, the permittee must submit as-built drawings demonstrating that at the time of final stabilization the stormwater management facilities conforms to design specifications and functions as intended and approved by the District. As-built/record drawings must be signed by a professional engineer licensed in Minnesota and include, but not limited to:
 - a) the surveyed bottom elevations, water levels, and general topography of all facilities;
 - b) the size, type, and surveyed invert elevations of all stormwater facility inlets and outlets;
 - c) the surveyed elevations of all emergency overflows including stormwater facility, street, and other;
 - d) other important features to show that the project was constructed as approved by the Managers and protects the public health, welfare, and safety.
3. To close out the permit and release the \$5,000 in financial assurance held for the purpose of the chloride management, the permit applicant must provide an executed chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan at the site.



Permit Location Map
AVIENDA ROWHOMES
Permit 2023-045
Riley Purgatory Bluff Creek
Watershed District

DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD.
MINNEAPOLIS, MN 55425



PROJECT
AVIENDA ROWHOMES
CHANHASSEN, MN

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
001	08/05/2022	ISSUE FOR PRELIMINARY REVIEW
002	10/10/2024	REVISION
003	08/05/2022	ISSUE FOR PRELIMINARY REVIEW
004	10/10/2024	REVISION

CERTIFICATION

I hereby certify that the foregoing plans, or copies, were prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.

Arden R. H.
Lic. No. 5732 Date: 11/13/2023

Shelton R. Brown is a duly licensed Professional Engineer. The date of his last license renewal is 11/13/2023. His license number is 5732. He is currently employed by Landform, Inc. as a Professional Engineer.

WATERSHED RESUBMITTAL
JANUARY 10, 2024



165 South Fifth Avenue Tel: 612-302-0070
Suite 513 Fax: 612-302-0077
Minneapolis, MN 55401 Web: landforminc.com
FILE NAME: CDS250004
PROJECT NO.: SD24001LEV004

PRELIMINARY PLAT
C0.2

Lettered and numbered by the Engineer. The Engineer's name and the date of the issue are shown below.

LEGAL DESCRIPTION
C.A.S.H. Ord. 17

ZONING AND SETBACK SUMMARY
THE PROPERTY IS ZONED PD - REGIONAL LIFE USE.
BUILDING SETBACK INFORMATION IS AS FOLLOWS:
FRONT - 10 FT
REAR - 5 FT
SIDE - 5 FT
BLUFF CREEK - 5 FT
AVIENDA - 5 FT
FRONT AND SIDE - 10 FT
REAR - 10 FT
RESIDENTIAL - 30 FT
LOT COVERED BY ALL INFORMATION IS AS FOLLOWS:
10% OVERLAPPING DISTRICTS AND SETBACKS
BY THE DISTRICTS AS SHOWN ON THE PLAT.
LOT WIDTH MINIMUM - 100 FT.

LOT AREA TABLE

Lot	Area (sq ft)
1	1,100
2	1,100
3	1,100
4	1,100
5	1,100
6	1,100
7	1,100
8	1,100
9	1,100
10	1,100
11	1,100
12	1,100
13	1,100
14	1,100
15	1,100
16	1,100
17	1,100

Parcel Table

Lot	Area (sq ft)
18	1,100
19	1,100
20	1,100
21	1,100
22	1,100
23	1,100
24	1,100
25	1,100
26	1,100
27	1,100

Parcel Table

Lot	Area (sq ft)
28	1,100
29	1,100
30	1,100
31	1,100
32	1,100
33	1,100
34	1,100
35	1,100
36	1,100
37	1,100

Parcel Table

Lot	Area (sq ft)
38	1,100
39	1,100
40	1,100
41	1,100
42	1,100
43	1,100
44	1,100
45	1,100
46	1,100
47	1,100

Parcel Table

Lot	Area (sq ft)
48	1,100
49	1,100
50	1,100
51	1,100
52	1,100
53	1,100
54	1,100
55	1,100
56	1,100
57	1,100

Parcel Table

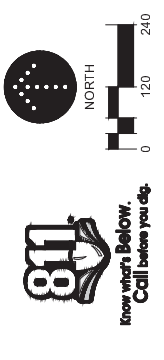
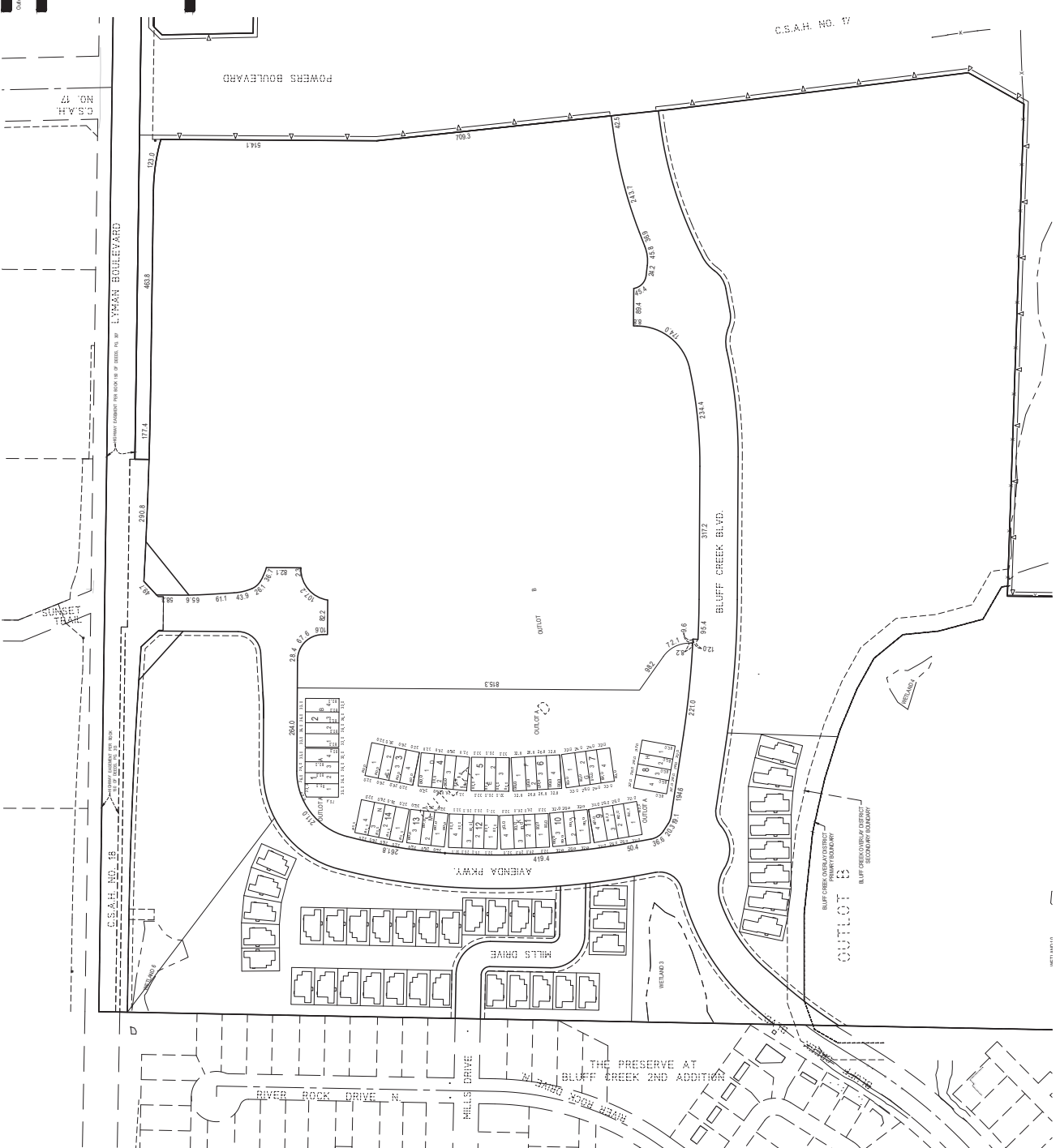
Lot	Area (sq ft)
58	1,100
59	1,100
60	1,100
61	1,100
62	1,100
63	1,100
64	1,100
65	1,100
66	1,100
67	1,100

Parcel Table

Lot	Area (sq ft)
68	1,100
69	1,100
70	1,100
71	1,100
72	1,100
73	1,100
74	1,100
75	1,100
76	1,100
77	1,100

Parcel Table

Lot	Area (sq ft)
78	1,100
79	1,100
80	1,100
81	1,100
82	1,100
83	1,100
84	1,100
85	1,100
86	1,100
87	1,100



DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
 4600 KINGS POINT RD
 MINNETONKA, MN 55341

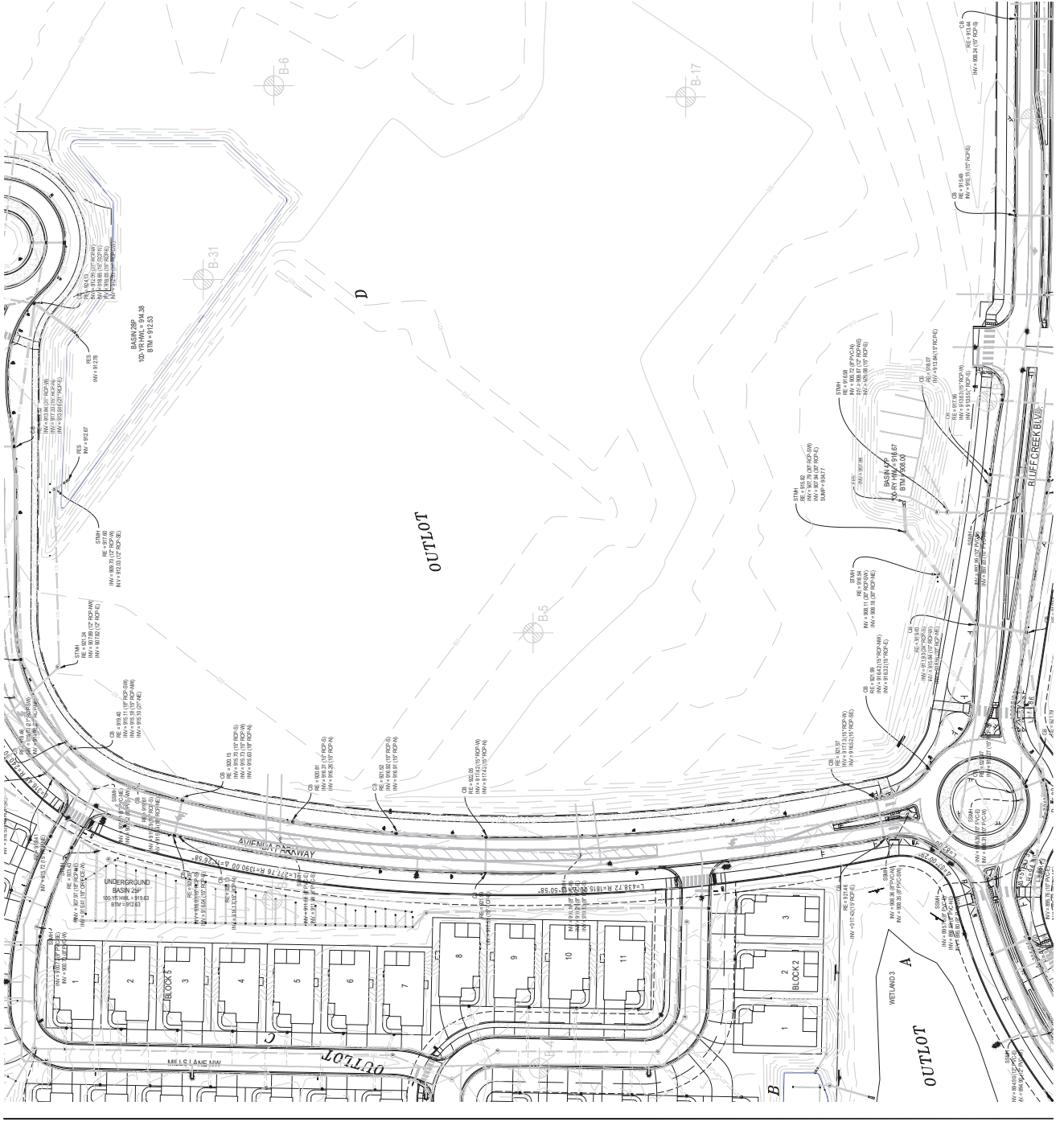


PROJECT
AVIENDA ROWHOMES
 CHANHOMEN, MN

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
1	10/11/2024	ISSUE FOR SUBMITTAL
2	10/11/2024	ISSUE FOR SUBMITTAL
3	10/11/2024	ISSUE FOR SUBMITTAL
4	10/11/2024	ISSUE FOR SUBMITTAL
5	10/11/2024	ISSUE FOR SUBMITTAL
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48	10/11/2024	ISSUE FOR SUBMITTAL
49	10/11/2024	ISSUE FOR SUBMITTAL
50	10/11/2024	ISSUE FOR SUBMITTAL

- EXISTING CONDITIONS**
- Background information from previous plans, drawings, surveys, etc. shall be used to verify the accuracy of the information provided in this document. Any discrepancies shall be noted on the drawings. The engineer shall be responsible for verifying the accuracy of the information provided in this document. The engineer shall be responsible for verifying the accuracy of the information provided in this document. The engineer shall be responsible for verifying the accuracy of the information provided in this document.
 - General notes and conditions are provided and are based on information provided in the General Notes and Specifications. The engineer shall be responsible for verifying the accuracy of the information provided in this document. The engineer shall be responsible for verifying the accuracy of the information provided in this document. The engineer shall be responsible for verifying the accuracy of the information provided in this document.
 - Sheet will later contain: Portions of the storm and sanitary sewer are not included in view of this survey.



CERTIFICATION

I, the undersigned, being a duly Licensed Professional Engineer in the State of Minnesota, do hereby certify that the above is a true and correct copy of the plans as shown to me by the engineer or architect.

DATE: 10/11/2024
PROJECT NO.: 240001/LEVEL 04

WATERSHED RESUBMITTAL
 JANUARY 10, 2024

LANDFORM
 Environmental Planning
 105 South Fifth Avenue
 Suite 313
 Minneapolis, MN 55401
 Tel: 612-332-4070
 Fax: 612-332-4077
 Email: landform@landform.com
 Website: www.landform.com

EXISTING CONDITIONS
C1.1

PROJECT NO. 240001/LEVEL 04

811
 Know what's Below.
 Call before you dig.

NORTH

0 50 100

DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
 4600 KINGS POINT RD
 MINNEAPOLIS, MN 55411



PROJECT
AVIENDA ROWHOMES
 CHANHASSEN, MN

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
1	10/22/2024	ISSUE FOR PERMITTING
2	10/22/2024	ISSUE FOR PERMITTING
3	10/22/2024	ISSUE FOR PERMITTING
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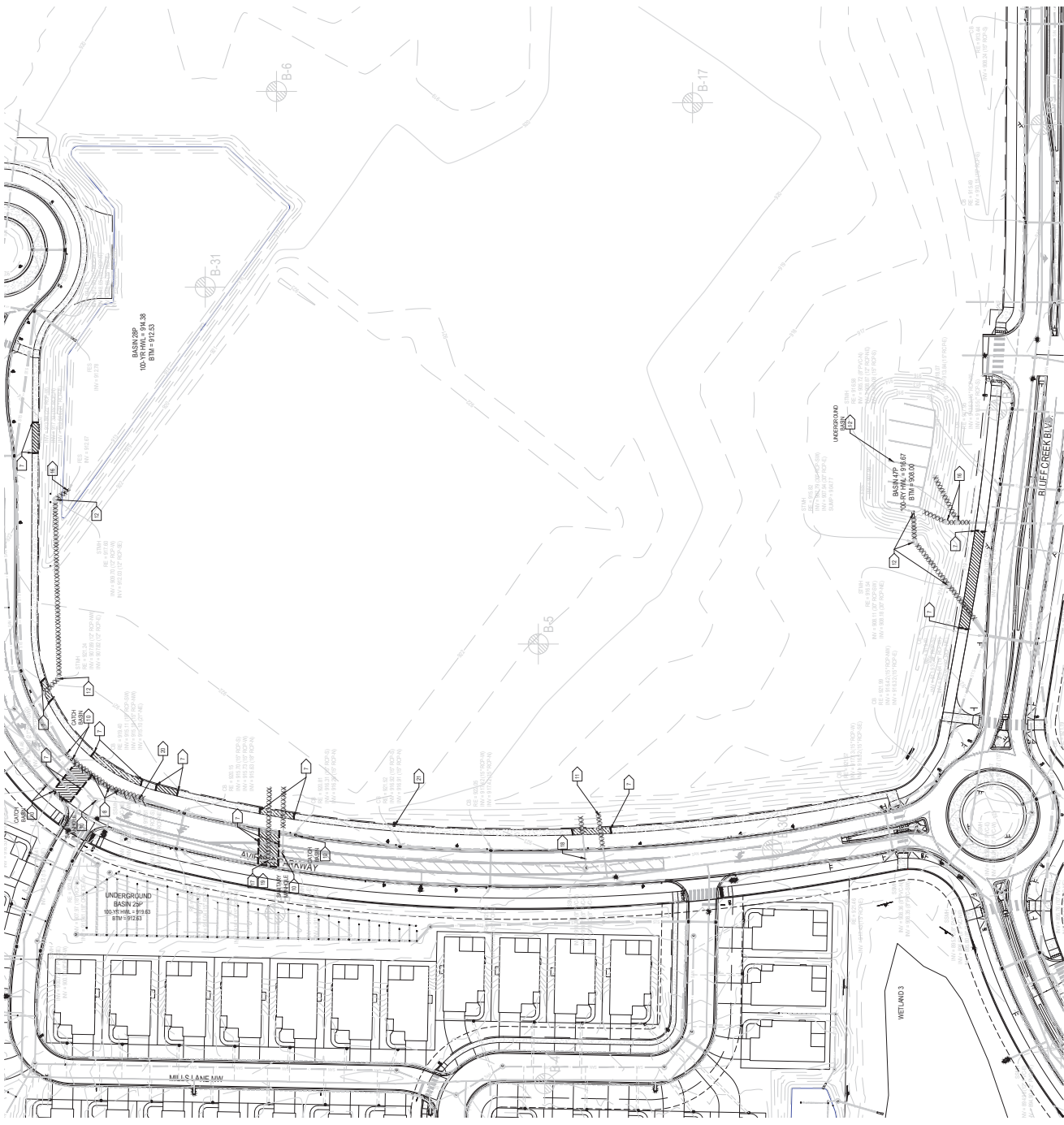
GENERAL NOTES

1. For construction of this project, refer to the contract documents at C12-250-0070.
2. Obtain permits for demolition, clearing, and disposal in compliance with local, state, and federal regulations.
3. Coordinate with the utility companies for the location of all existing utility lines. Obtain and mark all utility lines before construction begins.
4. See Sheet C12-C3 for stationing and pavement conditions as they relate to plan and profile drawings.
5. Re-survey.
6. Dimensions shown for removal are approximate. Coordinate with the contractor to remove appropriate amount of existing utilities.
7. Remove and dispose of all existing utilities and structures. Obtain and mark all utility lines before construction begins.
8. Storage during the project shall be in accordance with the approved site plan.
9. Re-survey.
10. Protect structures, utilities, trees, and other existing features. Obtain and mark all utility lines before construction begins.
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DEMOLITION AND CLEARING NOTES

1. Obtain permits for demolition, clearing, and disposal in compliance with local, state, and federal regulations.
2. Coordinate with the utility companies for the location of all existing utility lines. Obtain and mark all utility lines before construction begins.
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50. Obtain and mark all utility lines before construction begins.

LEGEND



CERTIFICATION

I hereby certify that the information provided in this plan is true and correct to the best of my knowledge and belief. I am a duly Licensed Professional Engineer in the State of Minnesota. My license number is 54321.

DATE 10/22/2024

DRAWN BY [Name]

CHECKED BY [Name]

SCALE [Scale]

WATERSHED RESUBMITTAL
 JANUARY 10, 2024



105 South Fifth Avenue
 Suite 513
 Minneapolis, MN 55401

Tel: 612-502-0070
 Fax: 612-502-0077
 Email: info@landform.com

FILE NAME: C1250004
 PROJECT NO: SC04001/LEVEL 04

DEMOLITION
C12

811
 Know what's Below.
 Call before you dig.

NORTH

0 50 100

© 2024 Landform Environmental Solutions, Inc. All rights reserved. This drawing is the property of Landform Environmental Solutions, Inc. and is not to be reproduced or distributed without the written consent of Landform Environmental Solutions, Inc.



GENERAL NOTES

- For construction details, refer to the contract documents at 02-202-0070.
- Obtain necessary permits for construction activities from the appropriate authority.
- Refer to the applicable codes and regulations for all construction activities. The building footprint, setbacks, and other site plan information shown on this plan are for informational purposes only. The building footprint, setbacks, and other site plan information shown on this plan are for informational purposes only.
- Construction shown on this plan is for information only. The building footprint, setbacks, and other site plan information shown on this plan are for informational purposes only.
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SITE PLAN NOTES

- Obtain necessary permits for construction activities from the appropriate authority.
- Refer to the applicable codes and regulations for all construction activities. The building footprint, setbacks, and other site plan information shown on this plan are for informational purposes only.
- Construction shown on this plan is for information only. The building footprint, setbacks, and other site plan information shown on this plan are for informational purposes only.
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ZONING AND SETBACK SUMMARY

This Project is zoned R-50 - Regional Office. Setbacks for this project are as follows:
 Front 10' to 15'
 Side 5'
 Rear 5'
 P.U. District: R-50
 Planning Commission: 2024
 Planning Commission Meeting: 09/12/2024
 Planning Commission Decision: 10/1/2024
 Resolution No.: 2024-011

AREA SUMMARY

Category	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
Existing	345,789	4,1	1,04	100.00%
Proposed	345,789	4,1	1,04	100.00%
Total	345,789	4,1	1,04	100.00%

PARKING SUMMARY

Category	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
Standard Parking	210	0	0%
Grand Spaces	100	0	0%
Disabled Spaces	100	0	0%
Other	220	0	0%

LEGEND

Green Space & Landscape Area

DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
 4600 KINGS POINT RD
 MINNETONKA, MN 55341

MUNICIPALITY

PROJECT
AVIENDA ROWHOMES
 CHANHASSEN, MN

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
001	08/14/2024	PRELIMINARY
002	08/14/2024	PRELIMINARY
003	08/14/2024	PRELIMINARY
004	08/14/2024	PRELIMINARY
005	08/14/2024	PRELIMINARY
006	08/14/2024	PRELIMINARY
007	08/14/2024	PRELIMINARY
008	08/14/2024	PRELIMINARY
009	08/14/2024	PRELIMINARY
010	08/14/2024	PRELIMINARY

CERTIFICATION

I hereby certify that the information shown on this plan is true and correct to the best of my knowledge and belief.

LANDFORM
 6248
 100 South Fifth Avenue
 Minneapolis, MN 55401

DATE: 08/14/2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

WATERSHED RESUBMITTAL
 JANUARY 10, 2024

LANDFORM
 6248

100 South Fifth Avenue
 Suite 513
 Minneapolis, MN 55401
 FILE NAME: C21000A
 PROJECT NO: SC24001LEVEL04

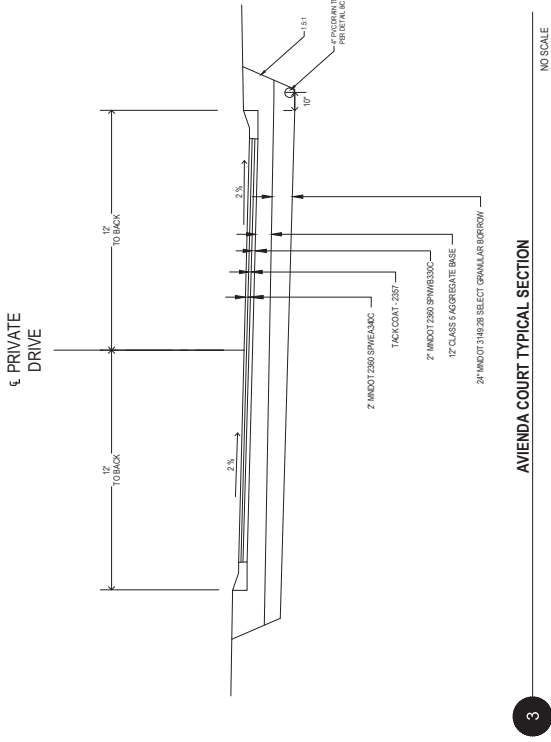
SITE PLAN
C2.1

811
 Know what's Below.
 Call before you dig.

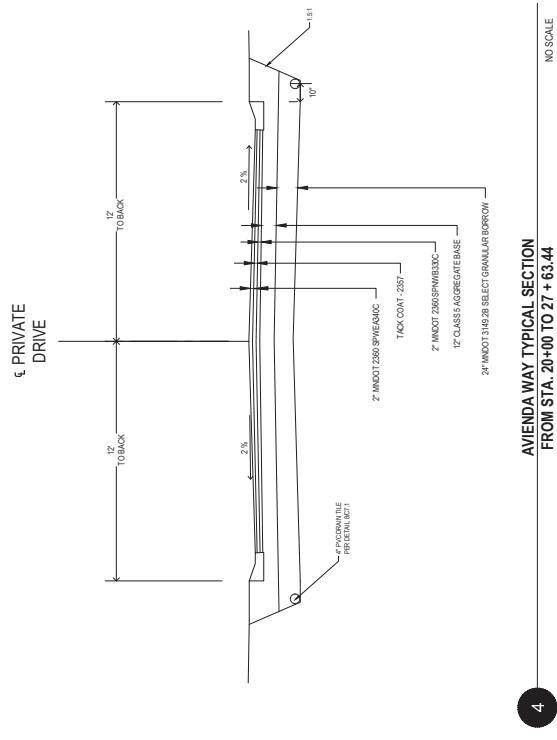
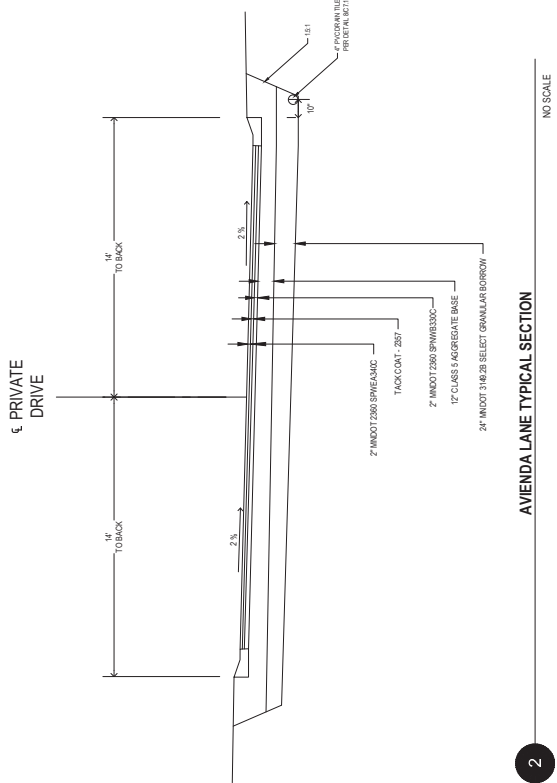
NORTH
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ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION	BY	CHKD
1	01/10/2024	ISSUE FOR PERMITTING	AS	AS
2	01/10/2024	ISSUE FOR PERMITTING	AS	AS
3	01/10/2024	ISSUE FOR PERMITTING	AS	AS
4	01/10/2024	ISSUE FOR PERMITTING	AS	AS
5	01/10/2024	ISSUE FOR PERMITTING	AS	AS
6	01/10/2024	ISSUE FOR PERMITTING	AS	AS
7	01/10/2024	ISSUE FOR PERMITTING	AS	AS
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9	01/10/2024	ISSUE FOR PERMITTING	AS	AS
10	01/10/2024	ISSUE FOR PERMITTING	AS	AS



1 NOT USED NO SCALE



CERTIFICATION

I hereby certify that I am a duly Licensed Professional Engineer in the State of Minnesota and that I am a duly Licensed Professional Engineer in the State of Minnesota and that I am a duly Licensed Professional Engineer in the State of Minnesota.

LANDFORM

105 South Fifth Avenue Tel: 612-302-4070
 Suite 313 Fax: 612-302-4077
 Minneapolis, MN 55401 Web: www.landforminc.com
 FILE NAME: C2250004
 PROJECT NO.: SCD14001LEV104

WATERSHED RESUBMITTAL
 JANUARY 10, 2024

TYPICAL STREET SECTIONS
C22

105 South Fifth Avenue Tel: 612-302-4070
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 Minneapolis, MN 55401 Web: www.landforminc.com
 FILE NAME: C2250004
 PROJECT NO.: SCD14001LEV104

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DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
 4600 KINGS POINT RD
 MINNETONKA, MN 55341

MUNICIPALITY

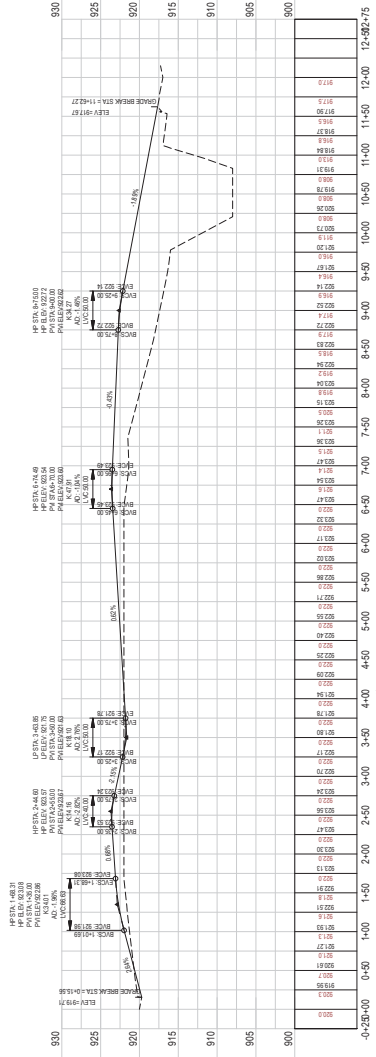


PROJECT
AVIENDA ROWHOMES
 CHANHASSEN, MN

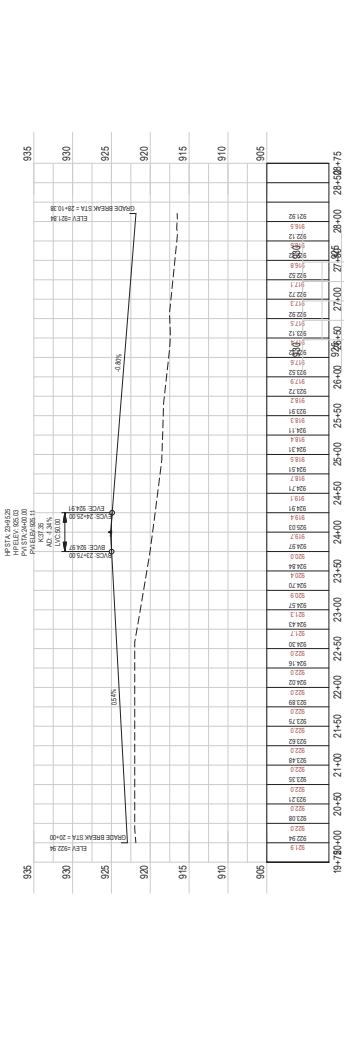
ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
001	01/15/24	ISSUE FOR PERMITTING
002	01/15/24	ISSUE FOR PERMITTING
003	01/15/24	ISSUE FOR PERMITTING
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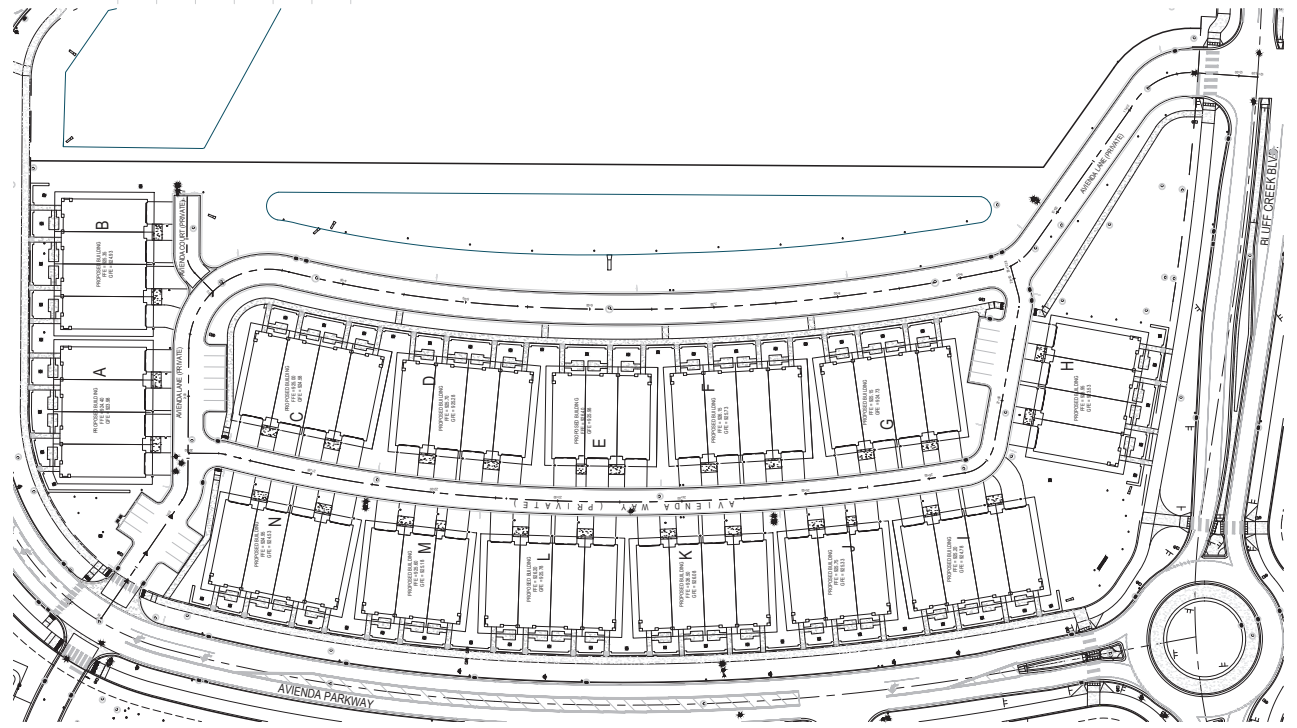
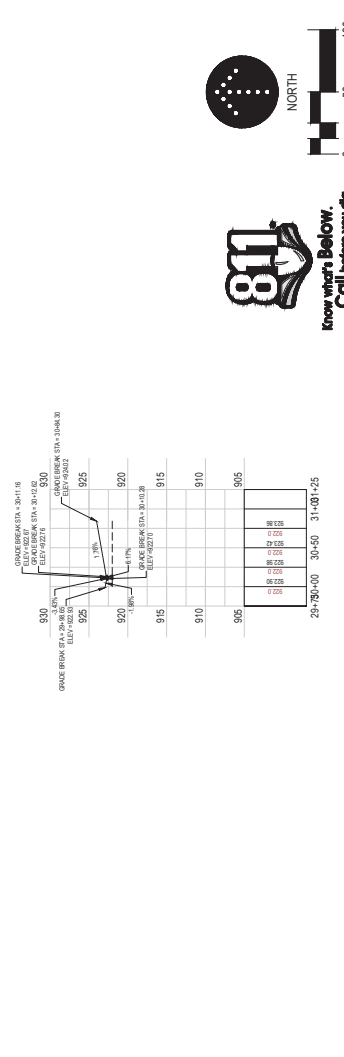
AVIENDA LANE (PRIVATE)



AVIENDA WAY (PRIVATE)



AVIENDA COURT (PRIVATE)



CERTIFICATION

I hereby certify that the information provided in this plan is true and correct to the best of my knowledge and belief, and that I am a duly Licensed Professional Engineer in the State of Minnesota.

DATE: 01/15/24
PROJECT NO.: 2401001/LEVEL 04

WATERSHED RESUBMITTAL
 JANUARY 10, 2024



105 South Fifth Avenue
 Suite 313
 Minneapolis, MN 55401
 TEL: 612-332-0070
 FAX: 612-332-0077
 WWW: landforminc.com
 FILE NAME: 2401001/LEVEL 04
 PROJECT NO.: 2401001/LEVEL 04

STREET ALIGNMENTS AND PROFILES
C2.3

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GENERAL NOTES

- For construction details and materials see referenced drawings at 02-220 (R10).
- Soils are shown on site plan. Verify soil conditions before construction. Remove any areas of eroded soil and replace with topsoil.
- Verify all materials and quantities before construction. Schedule quantities in advance to avoid delays.
- Management practices shall be implemented to minimize erosion and sedimentation. Erosion control measures shall be installed and maintained until final grading is completed.
- Final site plan shall be submitted for review and approval by the City of Chanhassen.
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EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- Install and maintain sediment control structures to prevent erosion and sedimentation during construction.
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PAVING NOTES

- Spot elevation at curb line. Function as indicated on drawing. Set Cham. CA for an elevation of curb base.
- Grass between proposed driveway and the driveway shall be maintained. Spot elevations shall govern on curb line.
- Use of 1/2" to 1/4" aggregate shall be used for the driveway.
- Use of 1/2" to 1/4" aggregate shall be used for the driveway.
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RETAINING WALL NOTES

- Retaining wall shall be constructed by stone masonry. Material to be approved by the City.
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LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
1/4" to 1/2" Aggregate	1/4" to 1/2" Aggregate	4,000 YD
3/4" to 1 1/2" Aggregate	3/4" to 1 1/2" Aggregate	100 YD
2" to 4" Aggregate	2" to 4" Aggregate	200 YD
4" to 8" Aggregate	4" to 8" Aggregate	70,000 YD
1/4" to 1/2" Gravel	1/4" to 1/2" Gravel	100 YD
3/4" to 1 1/2" Gravel	3/4" to 1 1/2" Gravel	100 YD
2" to 4" Gravel	2" to 4" Gravel	100 YD
4" to 8" Gravel	4" to 8" Gravel	100 YD

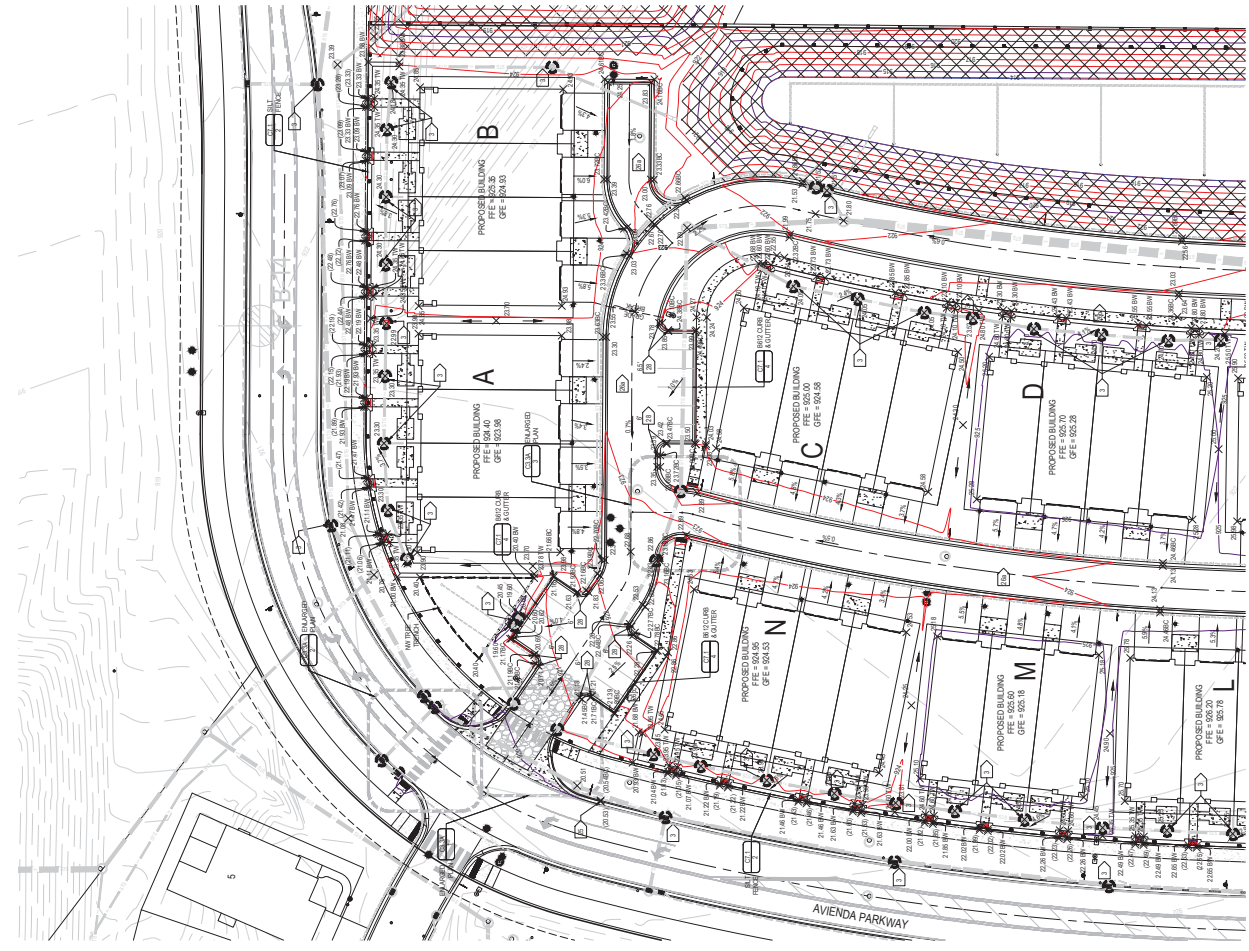
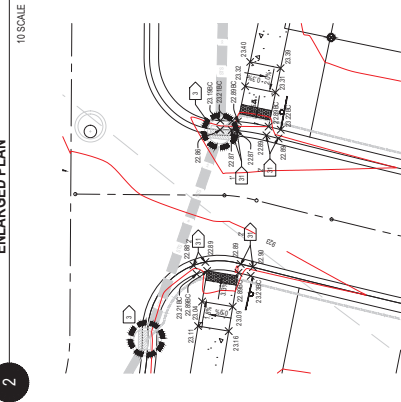
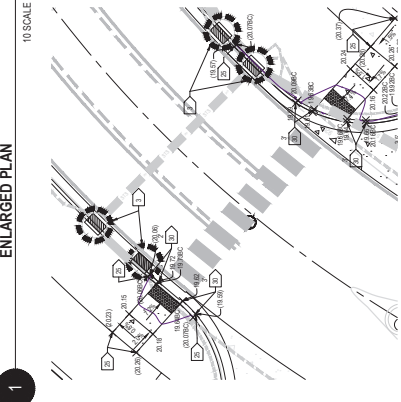
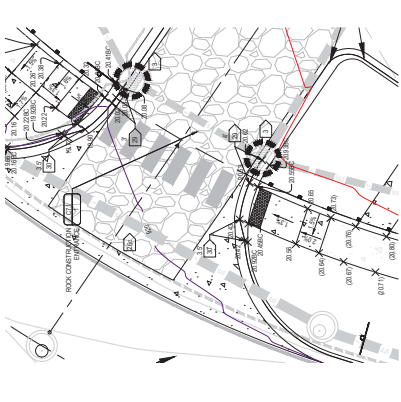
RETAINING WALL NOTES

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NORTH

0 30 60



DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETONKA, MN 55351

MUNICIPALITY



PROJECT
**AVIENDA
ROWHOMES
CHANHASNEN, MN**

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
1	11/20/24	ISSUE FOR PERMITS
2	11/20/24	ISSUE FOR PERMITS
3	11/20/24	ISSUE FOR PERMITS
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32	11/20/24	ISSUE FOR PERMITS
33	11/20/24	ISSUE FOR PERMITS

GENERAL NOTES

- For construction of retaining walls, see separate retaining wall details at 02-250-010.
- Install and maintain erosion control, silt fence, sedimentation traps, and other erosion control measures to prevent erosion and sediment runoff from the construction site. Remove or maintain erosion control measures until permanent stabilization and seeding of site.
- Install and maintain erosion control, silt fence, sedimentation traps, and other erosion control measures to prevent erosion and sediment runoff from the construction site. Remove or maintain erosion control measures until permanent stabilization and seeding of site.
- Install and maintain erosion control, silt fence, sedimentation traps, and other erosion control measures to prevent erosion and sediment runoff from the construction site. Remove or maintain erosion control measures until permanent stabilization and seeding of site.
- Management practices shown on this drawing are to be installed and maintained until the project is fully constructed and stabilized. Management practices are to be installed and maintained until the project is fully constructed and stabilized.
- Refer to 02-250-010 for additional requirements.
- Retention structure for parking area and other areas as indicated are to be constructed and maintained in accordance with the following specifications:
- Construction of all retaining walls shall be in accordance with the following specifications:
- Retention structure for parking area and other areas as indicated are to be constructed and maintained in accordance with the following specifications:
- Construction of all retaining walls shall be in accordance with the following specifications:

GRADING NOTES

- See Landscape Sheet for permit form and site plan and schedule table.
- Site plan shall be submitted to the City of Chanhassen for review and approval.
- Grading shall be in accordance with the following specifications:
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PAVING NOTES

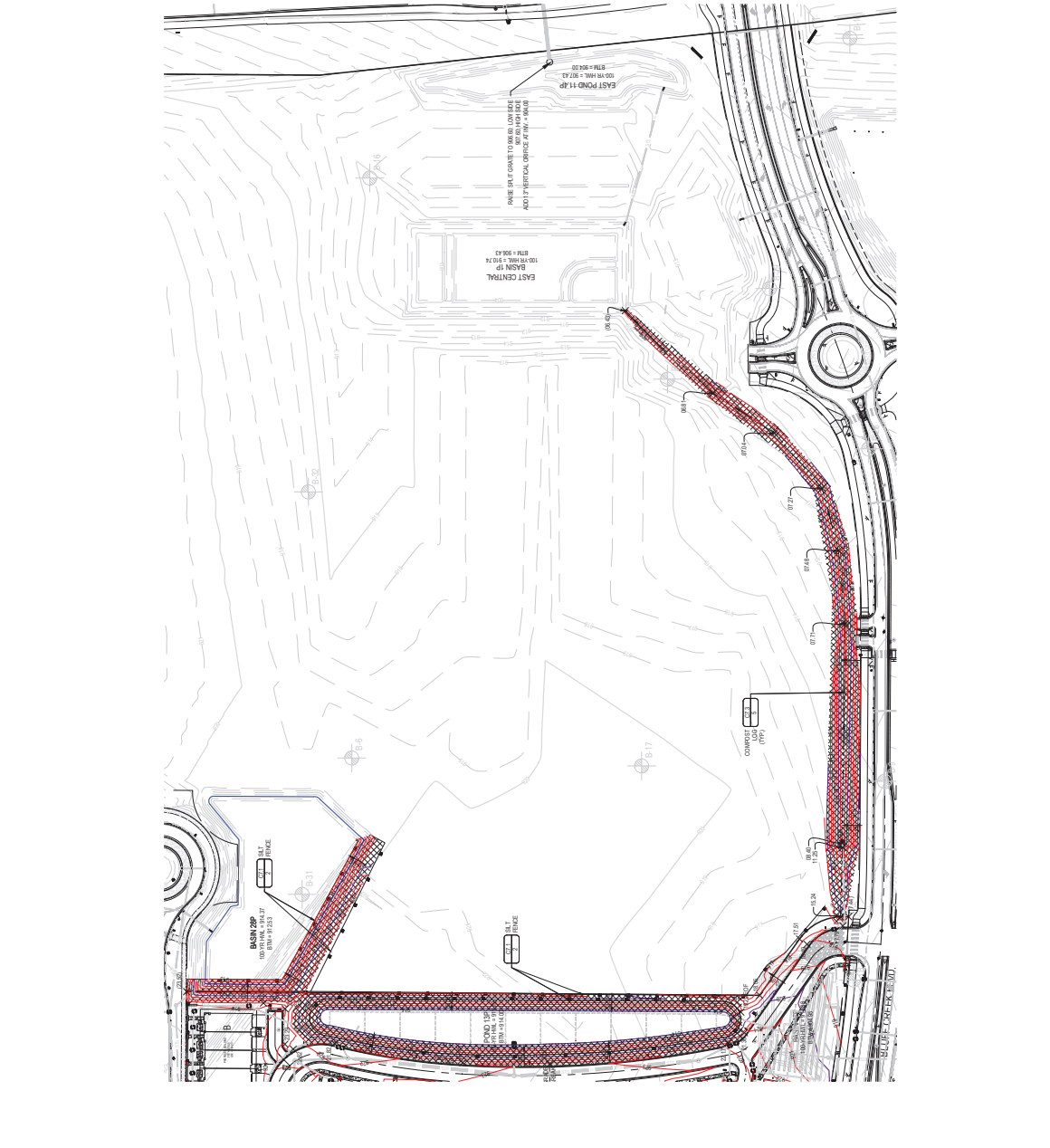
- Spot elevation at all new and old curb and gutter shall be in accordance with the following specifications:
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RETAINING WALL NOTES

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LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
[Symbol]	Blank Paving	18,000 sq ft
[Symbol]	Silt Fence	4,000 ft
[Symbol]	Compact Fill	150,000 cu yd
[Symbol]	White Tearing Pad	2,000 sq ft
[Symbol]	Erosion Control Blanket	70,000 sq ft
[Symbol]	Ty Grid Cloth	
[Symbol]	Permanent Silt Fence	
[Symbol]	Construction Utility	
[Symbol]	Blank Paving	



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LANDFORM
Paving & Erosion Control

105 South Fifth Avenue
Suite 313
Minnetonka, MN 55301
Tel: 612-532-9070
Fax: 612-532-9079
Email: info@landforminc.com
Web: landforminc.com

PROJECT NO: 2024001/LEVEL 04
EAST GRADING, DRAINAGE, PAVING & EROSION CONTROL
C3.3A

JANUARY 10, 2024

Scale: 1" = 40'

North Arrow

Graphic Scale: 0, 80, 160 feet

DEVELOPER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETONKA, MN 55341

MUNICIPALITY



PROJECT

AVIENDA CHANHOMES ROWHAYNES, MN

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
1	11/03/2021	ISSUE FOR PERMIT
2	11/03/2021	ISSUE FOR PERMIT
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8	11/03/2021	ISSUE FOR PERMIT
9	11/03/2021	ISSUE FOR PERMIT
10	11/03/2021	ISSUE FOR PERMIT

SURFACE WATER BUFFERS

1. Effort shall be made to maintain surface water buffers in accordance with the following:

TEMPORARY SEDIMENTATION BASINS

1. The project shall include temporary sedimentation basins to capture sediment from the site during construction.

POST CONSTRUCTION PERMANENT BASINS

1. The City and the County shall be notified of any changes to the permanent basins.

INSPECTIONS AND MAINTENANCE

1. Inspections shall be conducted at regular intervals to ensure proper operation of the basins.
2. Maintenance of the basins shall be the responsibility of the property owner.

RECORD KEEPING RECORD RETENTION

1. The project owner shall maintain records of all inspections and maintenance activities.

LOS OF CHANGES TO THE SWPPP AMENDMENTS

1. Any changes to the SWPPP must be approved by the City and the County.

FINAL STABILIZATION

1. Final stabilization measures shall be implemented as soon as possible after construction.

TERMINATION OF COVERAGE

1. Coverage shall terminate upon completion of the project and final stabilization.

AS

1. All activities shall be conducted in accordance with the City and County codes.

EROSION PREVENTION AND SEDIMENT CONTROL

1. The project shall implement erosion prevention and sediment control measures throughout the site.

MINIMUM COVERED AREA REQUIREMENTS

1. Minimum cover requirements shall be maintained at all times during construction.

CONSTRUCTION BEST MANAGEMENT PRACTICES

1. Best management practices shall include proper site preparation and erosion control.

POST CONSTRUCTION BEST MANAGEMENT PRACTICES

1. Post-construction BMPs shall be maintained and monitored after project completion.

WATER WITHIN ONE MILE OF SITE



ENVIRONMENTAL ENHANCED SPECIES, ARCHAEOLOGICAL RESOURCES, AND HISTORIC RESOURCES

1. The project shall avoid and minimize impacts to sensitive areas and resources.

SWPPP CONTACT AND TRAINING INFORMATION

1. Contact information for the SWPPP contractor and training providers.

DESCRIPTION OF CONSTRUCTION ACTIVITY

1. Construction activity includes site preparation, foundation work, and structural framing.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

1. BMP installation shall occur before the start of construction activities.

CONSTRUCTION BEST MANAGEMENT PRACTICES

1. BMPs shall be installed and maintained throughout the construction phase.

POST CONSTRUCTION BEST MANAGEMENT PRACTICES

1. Post-construction BMPs shall be maintained and monitored after project completion.

NEPES PERMIT AND SWPPP COMPONENTS

1. The project shall comply with all NEPES and SWPPP requirements.

SITE INFORMATION

1. Site information includes location, zoning, and adjacent properties.

SITE EVALUATION / ASSESSMENT PLANNING

1. Site evaluation shall include soil testing and erosion assessment.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

1. Stormwater management measures shall include detention basins and infiltration systems.


SWPPP CONTACT AND TRAINING INFORMATION

1. Contact information for the SWPPP contractor and training providers.

DEVELOPER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETONKA, MN 55341

MUNICIPALITY



PROJECT

AVIENDA CHANHOMES ROWHAYNES, MN

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
1	11/03/2021	ISSUE FOR PERMIT
2	11/03/2021	ISSUE FOR PERMIT
3	11/03/2021	ISSUE FOR PERMIT
4	11/03/2021	ISSUE FOR PERMIT
5	11/03/2021	ISSUE FOR PERMIT
6	11/03/2021	ISSUE FOR PERMIT
7	11/03/2021	ISSUE FOR PERMIT
8	11/03/2021	ISSUE FOR PERMIT
9	11/03/2021	ISSUE FOR PERMIT
10	11/03/2021	ISSUE FOR PERMIT

SURFACE WATER BUFFERS

1. Effort shall be made to maintain surface water buffers in accordance with the following:

TEMPORARY SEDIMENTATION BASINS

1. The project shall include temporary sedimentation basins to capture sediment from the site during construction.

POST CONSTRUCTION PERMANENT BASINS

1. The City and the County shall be notified of any changes to the permanent basins.

INSPECTIONS AND MAINTENANCE

1. Inspections shall be conducted at regular intervals to ensure proper operation of the basins.
2. Maintenance of the basins shall be the responsibility of the property owner.

RECORD KEEPING RECORD RETENTION

1. The project owner shall maintain records of all inspections and maintenance activities.

LOS OF CHANGES TO THE SWPPP AMENDMENTS

1. Any changes to the SWPPP must be approved by the City and the County.

FINAL STABILIZATION

1. Final stabilization measures shall be implemented as soon as possible after construction.

TERMINATION OF COVERAGE

1. Coverage shall terminate upon completion of the project and final stabilization.

AS

1. All activities shall be conducted in accordance with the City and County codes.

MN SWPPP NOTES

C3.4

105 South Fifth Avenue Tel: 612-532-6077
Suite 313 Fax: 612-532-6077
Minnetonka, MN 55341 Web: www.ci.minnetonka.mn.us
FILE NAME: CHAS302.DWG
PROJECT NO: SC210011EV104

DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
 4600 KINGS POINT RD
 MINNETONKA, MN 55341



PROJECT
**AVIENDA
 ROWHOMES
 CHANHASSEN, MN**

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
001	01/10/24	ISSUE FOR PERMITTING
002	01/10/24	ISSUE FOR PERMITTING
003	01/10/24	ISSUE FOR PERMITTING
004	01/10/24	ISSUE FOR PERMITTING
005	01/10/24	ISSUE FOR PERMITTING
006	01/10/24	ISSUE FOR PERMITTING
007	01/10/24	ISSUE FOR PERMITTING
008	01/10/24	ISSUE FOR PERMITTING
009	01/10/24	ISSUE FOR PERMITTING
010	01/10/24	ISSUE FOR PERMITTING

CERTIFICATION

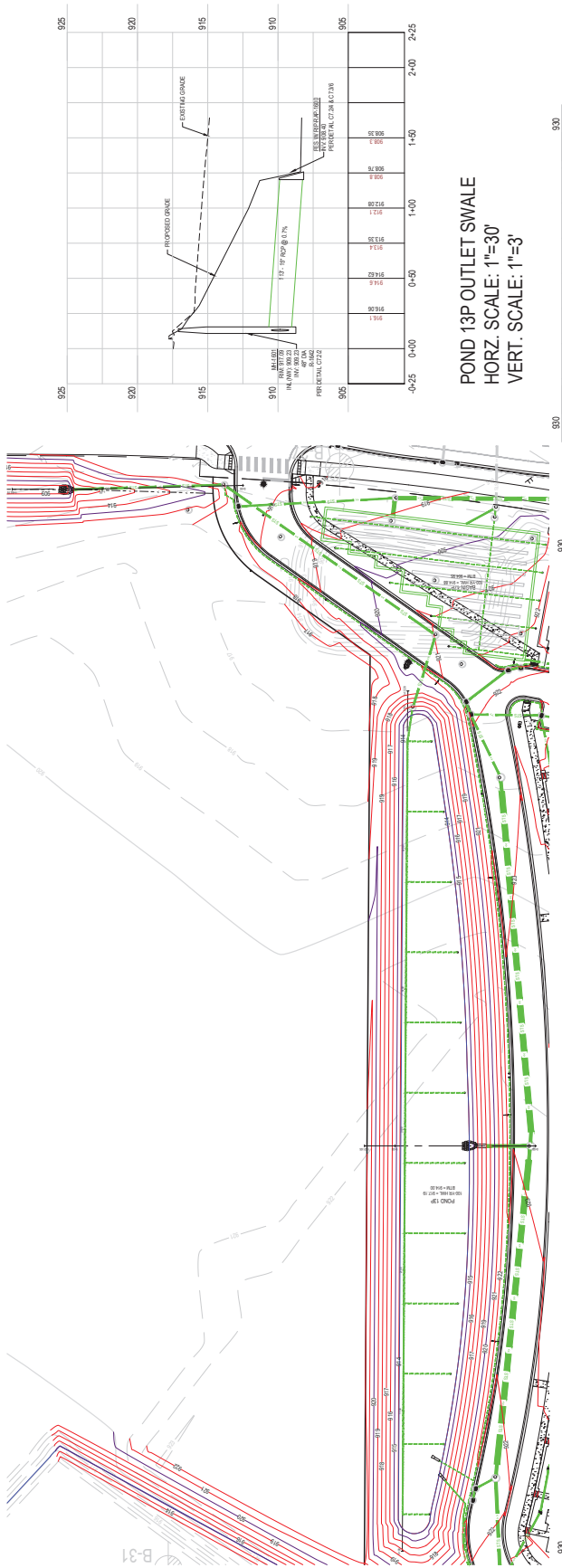
I hereby certify that the information provided in this application is true and correct to the best of my knowledge and belief, and that I am a duly Licensed Professional Engineer in the State of Minnesota.

DATE: 01/10/24
PROJECT NO.: 2024001/LEVEL 04

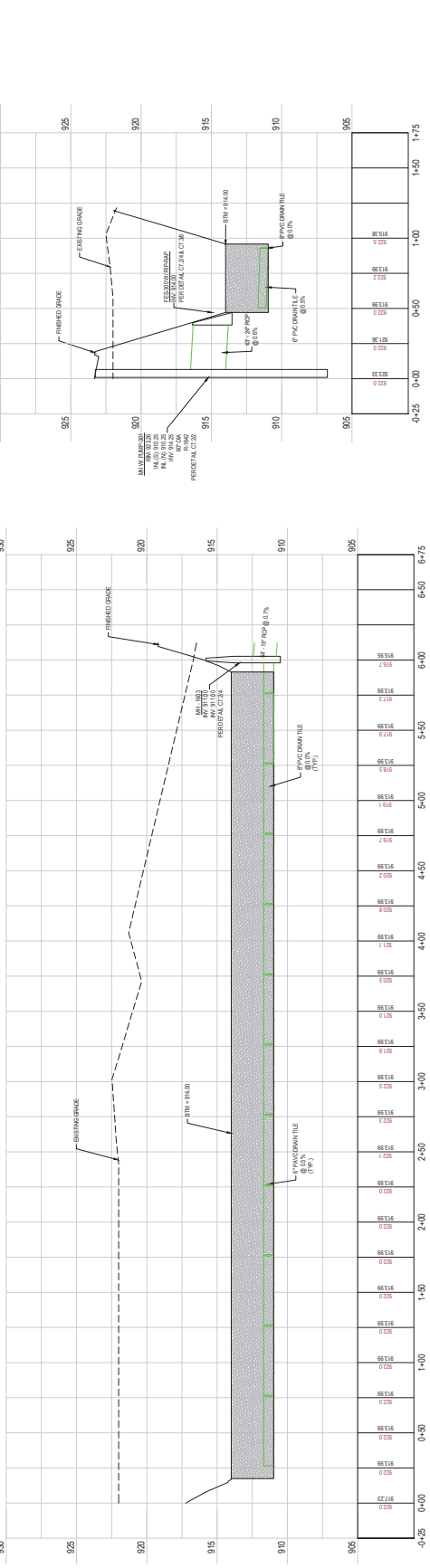
WATERSHED RESUBMITTAL
 JANUARY 10, 2024

LANDFORM
 105 South Fifth Avenue
 Suite 313
 Minneapolis, MN 55401
 Tel: 612-332-4070
 Fax: 612-332-4077
 Web: landforminc.com
 File Name: C0350004
 Project No: 2024001/LEVEL 04

POND CROSS-SECTIONS
C3.5



POND 13P OUTLET SWALE
 HORZ. SCALE: 1"=30'
 VERT. SCALE: 1"=3'



POND 13P (1)
 HORZ. SCALE: 1"=30'
 VERT. SCALE: 1"=3'



811
 Know what's Below.
 Call before you dig.

DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETONKA, MN 55301

MUNICIPALITY



PROJECT
AVIENDA ROWHOMES CHANHASSEN, MN

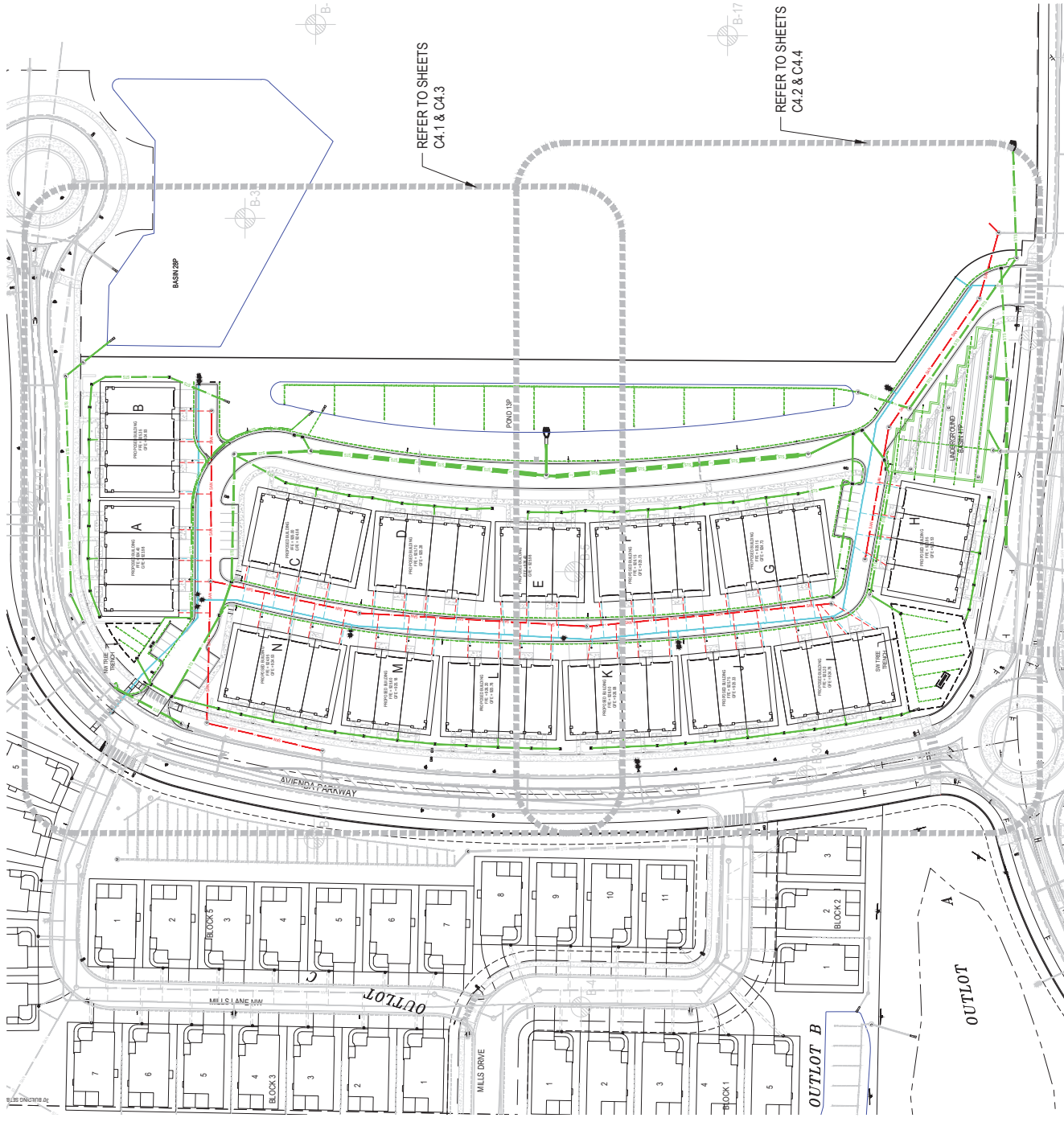
ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
1	01/10/2024	INITIAL DESIGN
2	02/01/2024	CONTRACT
3	02/01/2024	ISSUE FOR PERMITS
4	02/01/2024	ISSUE FOR PERMITS
5	02/01/2024	ISSUE FOR PERMITS
6	02/01/2024	ISSUE FOR PERMITS
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100	02/01/2024	ISSUE FOR PERMITS

GENERAL NOTES

UTILITY NOTES

- 1. For construction staging and surveying, see contract Letter # 14-02-2017-010.
- 2. Plot Maps: Refer to applicable utility and 2023 City of Chanhassen Specifications.
- 3. Confirm utility locations with adjacent property owners prior to construction of any proposed lines.
- 4. Confirm utility locations with the City of Chanhassen. Utility locations are shown in green on the site plan. Utility locations are shown in blue on the site plan. Utility locations are shown in red on the site plan.
- 5. Confirm that all utility crossings are coordinated with the City of Chanhassen. Confirm that all utility crossings are coordinated with the City of Chanhassen.
- 6. Provide notes and measures to correct utility locations from adjacent utility installers.
- 7. Place lengths shown within limits of utility locations in accordance with City of Chanhassen standards.
- 8. Install lines to match existing lines and in accordance with City of Chanhassen standards.
- 9. Confirm that all utility locations are in accordance with City of Chanhassen standards.
- 10. Confirm that all utility locations are in accordance with City of Chanhassen standards.
- 11. Measure 2' offset of line on water.
- 12. Offset water to match lot line structure outside separator of sewer crossings. Other site lengths to provide general separation between paths.
- 13. Catch basins to match water level and surface finish below the gutter grade (refer to Sheet C-17).
- 14. Coordinate with private utilities to provide electric, natural gas, and communication services.
- 15. See the High Voltage Utility Address if applicable.
- 16. Coordinate with all utility owners to confirm proposed utility locations. Provide notes and measures to correct utility locations from adjacent utility installers. Provide notes and measures to correct utility locations from adjacent utility installers. Provide notes and measures to correct utility locations from adjacent utility installers. Provide notes and measures to correct utility locations from adjacent utility installers.
- 17. All utility locations shall be as shown on this sheet. Verify all measurements of utility lines against existing conditions. Verify all measurements of utility lines against existing conditions. Verify all measurements of utility lines against existing conditions. Verify all measurements of utility lines against existing conditions.
- 18. Review all utility locations and staging. Confirm that all utility locations are in accordance with City of Chanhassen standards.
- 19. Refer to Sheet C-17 for storm cross section.
- 20. Refer to Sheet C-17 for storm cross section.
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- 100. Refer to Sheet C-17 for storm cross section.



Know what's Below.
Call before you dig.

CERTIFICATION

Professional Engineer License No. 0190105
State of Minnesota
Signature: [Handwritten Signature]
Date: 02/01/2024

WATERSHED RESUBMITTAL
JANUARY 10, 2024



105 South Fifth Avenue | Tall: 612-592-4070
Suite 513 | Fax: 612-592-4077
Minnetonka, MN 55301 | Web: landforminc.com
FILE NAME: C41035000A
PROJECT NO.: SCD3001/LEV104

UTILITIES - OVERALL
C4.0

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DEVELOPER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETONKA, MN 55341

MUNICIPALITY



PROJECT
AVIENDA
ROWHOMES
CHANHASSEN, MN

ISSUE / REVISION HISTORY

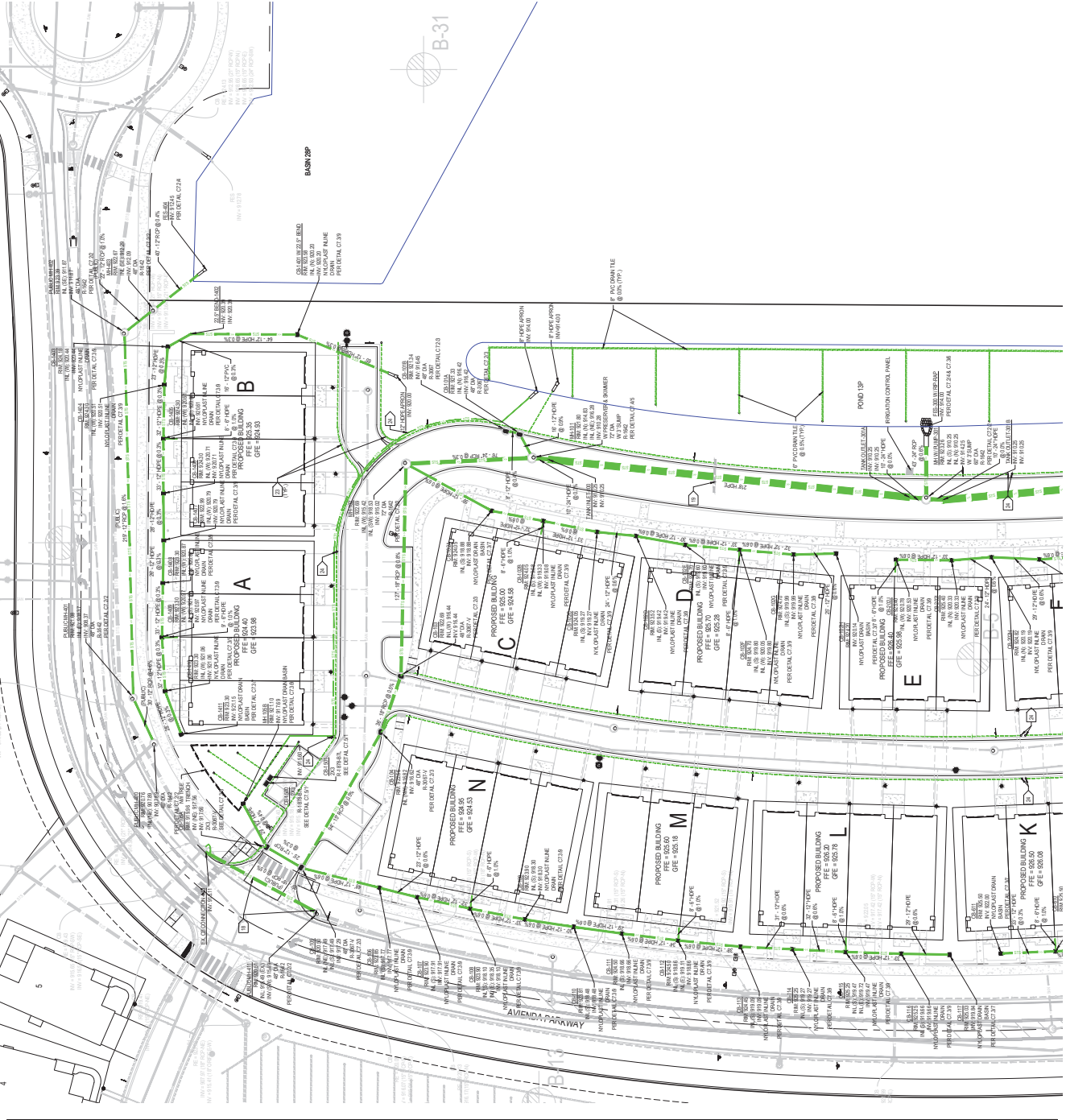
Table with columns: DATE, REVISIONS, REVISIONS MADE

GENERAL NOTES

- 1. For construction details and surveying see construction details and site plan.
- 2. Plot North. Surveyed by the City of Chanhassen, Minnesota.
- 3. Correct all typos and errors in the construction details and site plan.
- 4. Correct all typos and errors in the construction details and site plan.
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UTILITY NOTES

- 1. All utility lines are shown in accordance with the City of Chanhassen standards.
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CERTIFICATION

This is to certify that the design and construction of the project has been completed in accordance with the specifications and contract documents. The design and construction of the project has been completed in accordance with the specifications and contract documents.

WATERSHED RESUBMITTAL

JANUARY 10, 2024



105 South Fifth Avenue
Suite 313
Minnetonka, MN 55341
Tel: 612-532-4070
Fax: 612-532-4071
Email: info@landform.com
File Name: CHANHASSEN
Project No: SCD14001LEV004

UTILITIES - NORTH STORM SEWER
C4.1

811 logo: Know what's Below. Call before you dig. Includes a grid showing 0, 30, 60 feet depth.

GENERAL NOTES

1. For construction utility and surveying services contact Landform at (612) 252-9170.

UTILITY NOTES

2. Plot Maps: Refer to plot maps 16, 17, 18, and 19 of the City of Chanhassen Specifications.

3. Contact City Public Works for location of all existing utility lines and existing manholes.

4. Conduct utility and engineering survey of all utility lines and existing manholes prior to construction of any proposed utility.

5. Coordinate proposed utility crossing over/under of any existing utility lines with City Engineer.

6. Coordinate proposed utility crossing over/under of any existing utility lines with City Engineer. Coordinate utility crossing over/under of any existing utility lines with City Engineer.

7. Provide manhole enclosures to permit equipment passage from drainage utility (storm sewer).

8. Provide manhole enclosures to permit equipment passage from drainage utility (storm sewer).

9. Coordinate proposed utility crossing over/under of any existing utility lines with City Engineer.

10. Coordinate proposed utility crossing over/under of any existing utility lines with City Engineer.

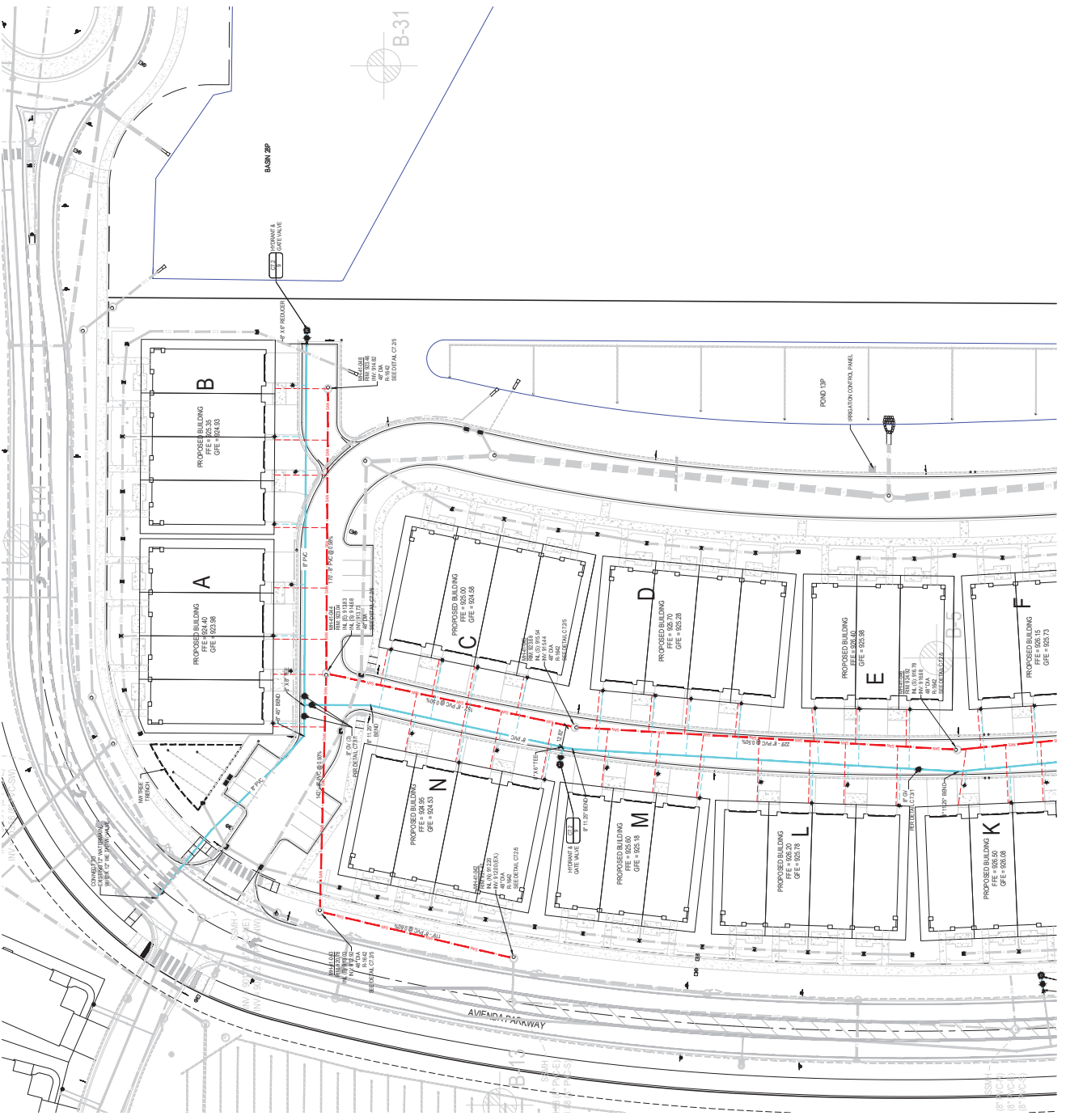
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ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
1	01/10/24	ISSUE FOR PERMITS/PROCESSES
2	01/10/24	ISSUE FOR PERMITS/PROCESSES
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DEVELOPER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETONKA, MN 55341

MUNICIPALITY

PROJECT

AVIENDA ROWHOMES CHANHASSEN, MN

CERTIFICATION

I, the undersigned, certify that the plans and specifications herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

LANDFORM
Professional Engineer
105 South Fifth Avenue
Suite 313
Minnetonka, MN 55341

WATERSHED RESUBMITTAL
JANUARY 10, 2024

PROJECT NO.: SC24001EVEN04
UTILITY - NORTH SANITARY SEWER
C4.3

DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETONKA, MN 55351

MUNICIPALITY



PROJECT
**AVIENDA
ROWHOMES
CHANHASSEN, MN**

ISSUE / REVISION HISTORY

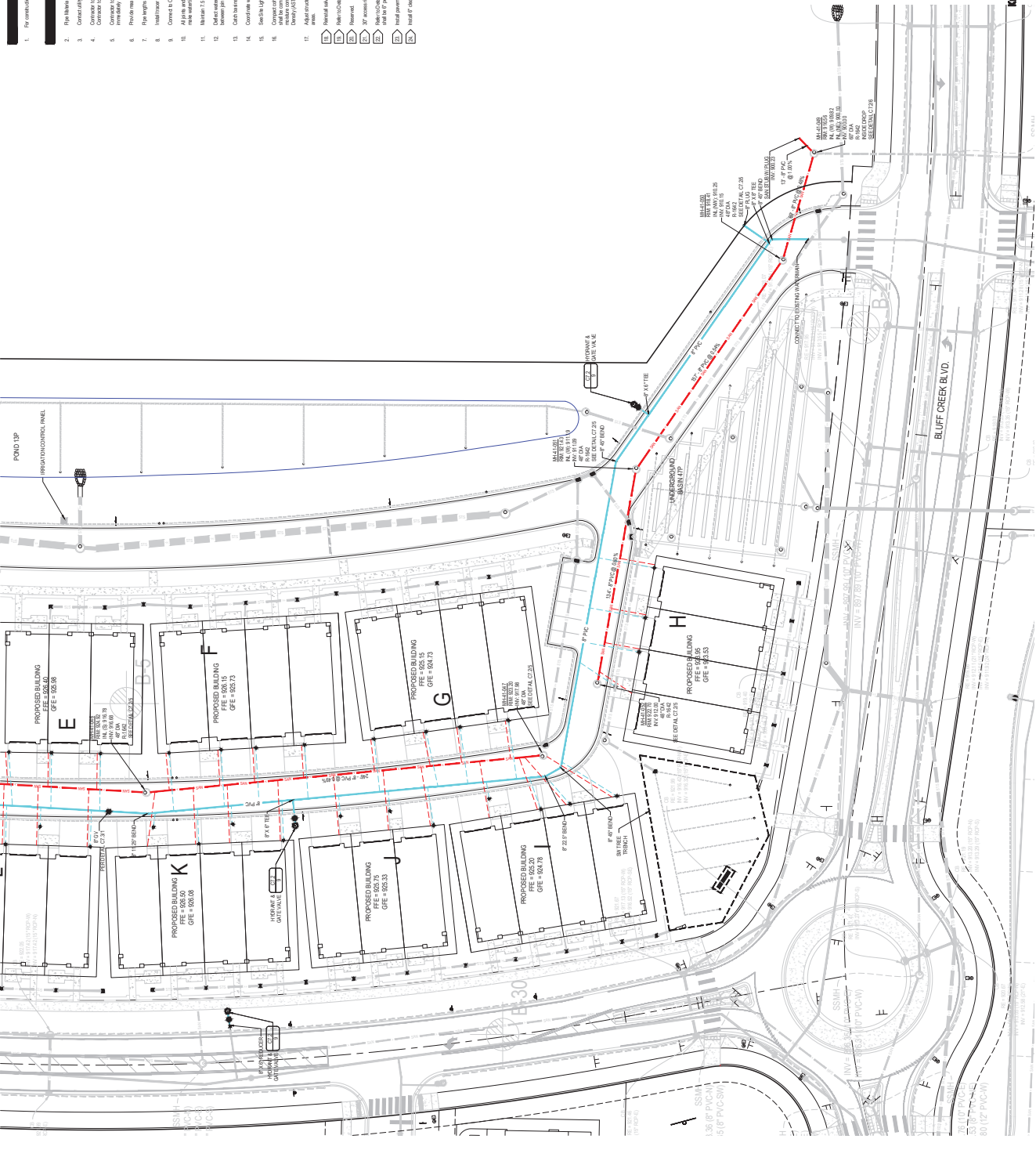
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16	01/10/24	ISSUE FOR PERMITTING
17	01/10/24	ISSUE FOR PERMITTING

GENERAL NOTES

1. For construction details and surveying see contract Letter A, #12-2929(0).

UTILITY NOTES

2. Refer to Note 2 for utility profiles and 2023 City of Chanhassen Specifications.
3. Contact utility owners for location of existing utilities prior to construction of any proposed utility.
4. Contact utility owners for location of any underground utilities.
5. Contact utility owners for location of any overhead utilities.
6. Contact utility owners for location of any water main, sewer, storm, or gas main.
7. Provide means and measures to prevent adjacent property from damage during utility installation.
8. Provide means and measures to prevent adjacent property from damage to existing utility.
9. Contact City of Chanhassen for location of existing utility.
10. Provide means and measures to prevent adjacent property from damage during utility installation.
11. Maintain 2' clearance of any over water.
12. Utility owners shall be notified in writing by the contractor at least 72 hours before the utility is to be installed on Sheet C71.
13. Coordinate with utility owners to provide electric, natural gas, and communication services.
14. See local utility codes for utility installation.
15. Coordinate with utility owners for location of any existing utility.
16. Coordinate with utility owners for location of any existing utility.
17. Utility owners shall be notified in writing by the contractor at least 72 hours before the utility is to be installed on Sheet C71.



CERTIFICATION

523 S & G
6208
6208

WATERSHED RESUBMITTAL
JANUARY 10, 2024



105 South Fifth Avenue
Suite 313
Chanhassen, MN 55041
Tel: 612-502-4070
Fax: 612-502-4077
Email: landforminc.com
PROJECT NO: SC204001/LEV004
UTILITY: SOUTH SANITARY SEWER
C4.4

811
Know what's Below.
Call before you dig.



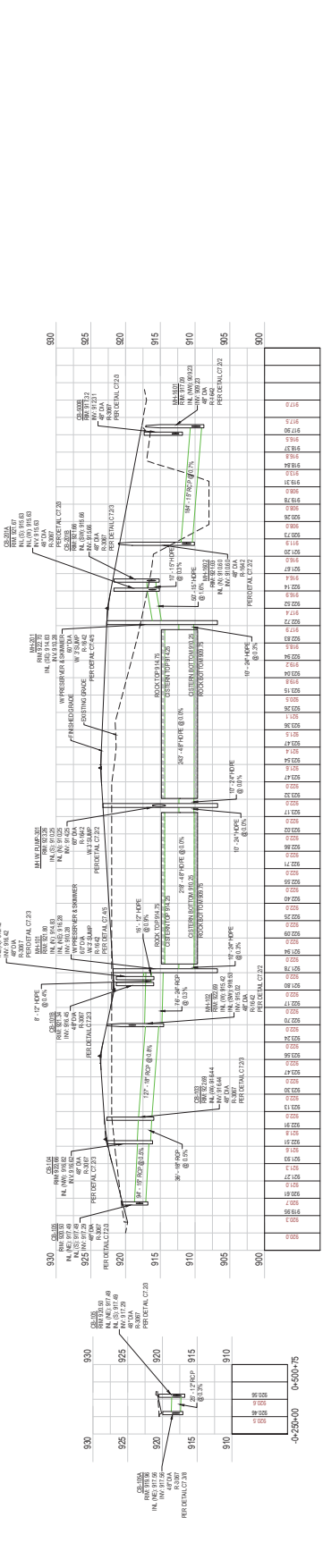
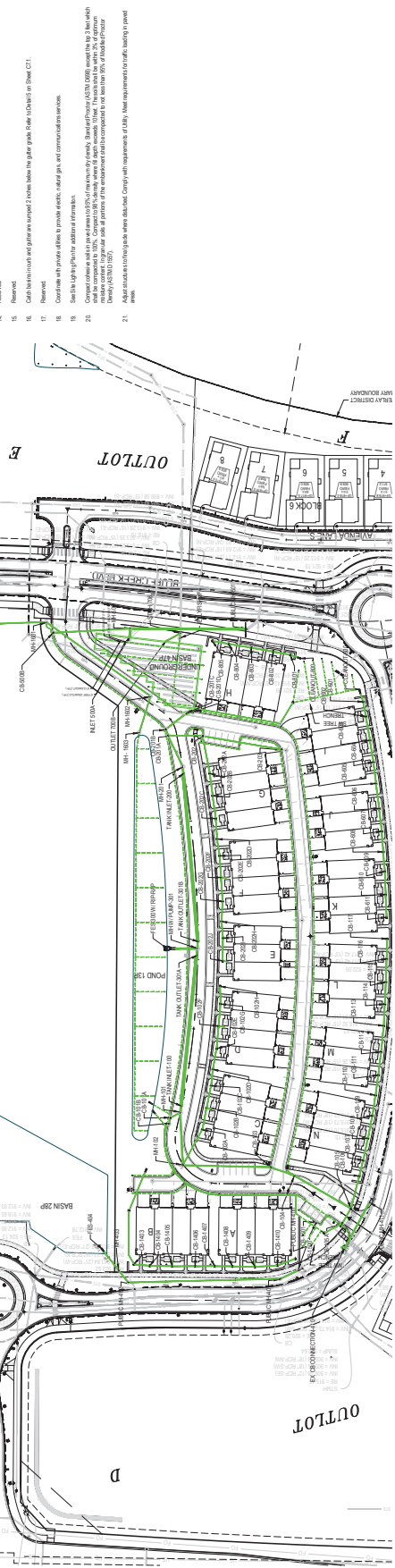


ISSUE / REVISION HISTORY

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20	12/11/2024	ISSUE FOR PERMITTING
21	12/11/2024	ISSUE FOR PERMITTING

GENERAL NOTES

1. For construction utility and surveying services contact Landmark at 612-252-9170.
2. Plot Maps: Refer to all projects and 2023 City of Chanhassen Standard Maps.
3. Contact City for a permit for the location of a new 12" water main along the property boundary.
4. Coordinate with City Engineer and staff for all utility work. Coordinate with City Engineer for all utility work.
5. Coordinate with City Engineer for all utility work. Coordinate with City Engineer for all utility work.
6. Provide a minimum of 48 hours notice to all adjacent property owners before any utility work.
7. Provide a minimum of 48 hours notice to all adjacent property owners before any utility work.
8. Coordinate with City Engineer for all utility work. Coordinate with City Engineer for all utility work.
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11. Coordinate with City Engineer for all utility work. Coordinate with City Engineer for all utility work.
12. Coordinate with City Engineer for all utility work. Coordinate with City Engineer for all utility work.
13. Reserved.
14. Reserved.
15. Reserved.
16. Coordinate with City Engineer for all utility work. Coordinate with City Engineer for all utility work.
17. Reserved.
18. Coordinate with City Engineer for all utility work. Coordinate with City Engineer for all utility work.
19. Coordinate with City Engineer for all utility work. Coordinate with City Engineer for all utility work.
20. Coordinate with City Engineer for all utility work. Coordinate with City Engineer for all utility work.
21. All other notes to this project shall apply unless otherwise indicated. Contact City Engineer for all utility work.



811
 Know what's Below.
 Call before you dig.

CERTIFICATION
 I hereby certify that the information on this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

LANDFORM
 Environmental & Engineering Solutions
 105 South Mill Avenue
 Suite 313
 Minneapolis, MN 55401
 Tel: 612-522-9070
 Fax: 612-522-9071
 Email: info@landform.com
 Website: www.landform.com

UTILITY PROFILES
C5.1

PROJECT NO.: SC24001/LEVEL 04
 DATE: 12/11/2024

GENERAL NOTES

- For construction utility and surveying services contact Landmark at 612-252-0170.

UTILITY NOTES

- Per Manly, review all profiles and 2024 City of Chanhassen standards.
- Coordinate all utility profiles for location of manholes and structures to be constructed for proposed utility.
- Coordinate with City of Chanhassen and utility providers for location of utility structures to be constructed.
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DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
 4600 KINGS POINT RD
 MINNETONKA, MN 55341



PROJECT
AVIENDA ROWHOMES
CHANHASSEN, MN

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION
01	11/07/2023	ISSUE FOR PERMITTING
02	11/07/2023	ISSUE FOR PERMITTING
03	11/07/2023	ISSUE FOR PERMITTING
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09	11/07/2023	ISSUE FOR PERMITTING
10	11/07/2023	ISSUE FOR PERMITTING

CERTIFICATION

I hereby certify that I am the author or creator of the design shown on these drawings and that I am a duly Licensed Professional Engineer in the State of Minnesota.

DATE: 10/25/2024
PROJECT NO.: 24000101/01

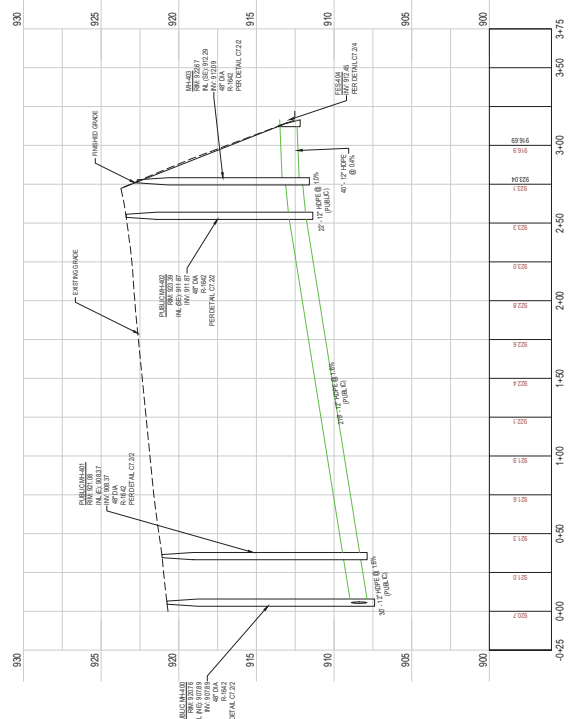
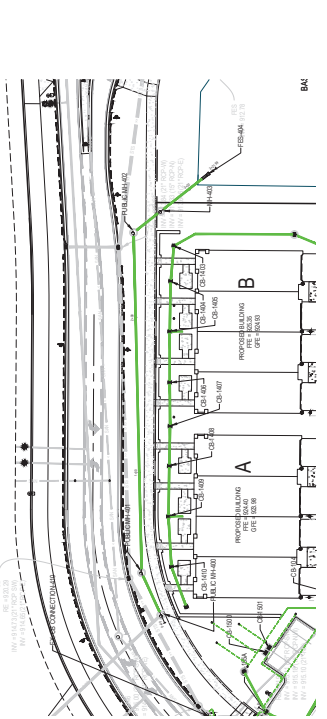
WATERSHED RESUBMITTAL
 JANUARY 10, 2024



105 South Fifth Avenue
 Suite 513
 Minneapolis, MN 55401

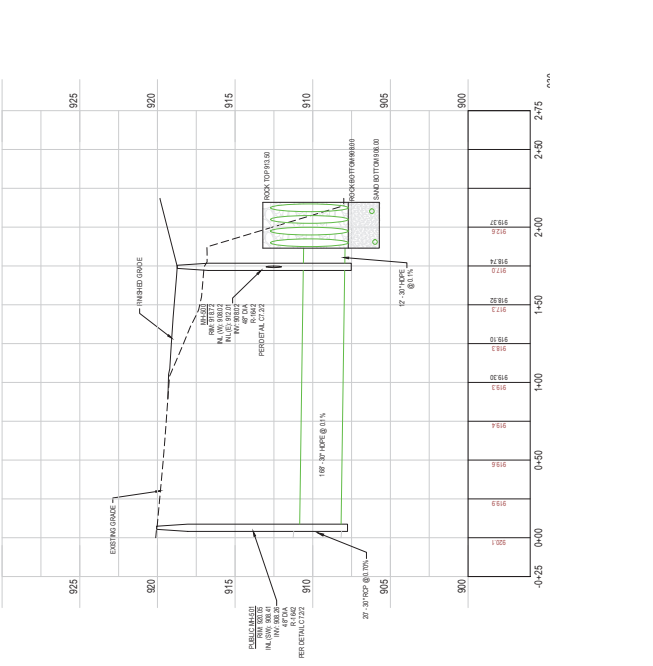
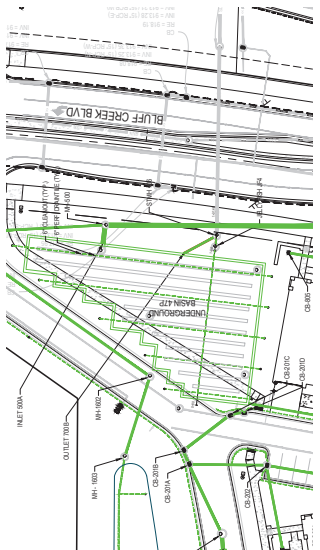
UTILITY PROFILES
C5.2

105 South Fifth Avenue
 Suite 513
 Minneapolis, MN 55401



GENERAL NOTES

1. For construction staging and surveying reference contact Landform at 612-228-7870.
2. Final Manhole Survey of this project was completed by City of Chanhassen Survey Division.
3. Contact Landform for questions regarding this project.
4. Contact City of Chanhassen for questions regarding this project.
5. Contact the City Engineer and/or Public Works Director for questions regarding this project.
6. Contact the City Engineer and/or Public Works Director for questions regarding this project.
7. Final manhole survey was conducted by City of Chanhassen Survey Division.
8. Final manhole survey was conducted by City of Chanhassen Survey Division.
9. Final manhole survey was conducted by City of Chanhassen Survey Division.
10. Final manhole survey was conducted by City of Chanhassen Survey Division.
11. Manhole 2 is not on site.
12. Other notes on manhole 2 are located outside separator at sewer crossing. Other site notes are located outside separator at manhole 1.
13. Reserved.
14. Reserved.
15. Reserved.
16. Catch basin is shown with an arrow pointing to the sewer pipe. Catch basin is shown on sheet C1.
17. Reserved.
18. Contact the City Engineer and/or Public Works Director for questions regarding this project.
19. See the City Engineer and/or Public Works Director for questions regarding this project.
20. Contact the City Engineer and/or Public Works Director for questions regarding this project.
21. Additional notes on this project are located on sheet C1.



DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
4800 KINGS POINT RD
MINNETONKA, MN 55345



PROJECT
AVIENDA
ROWHOMES
CHANHASSEN, MN

ISSUE / REVISION HISTORY

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21	11/14/24	ISSUE FOR PERMITTING

CERTIFICATION
I hereby certify that the plans herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
DATE: 11/14/24
PROJECT NO.: 24040104

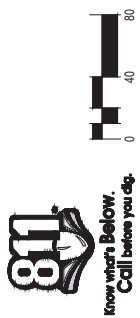


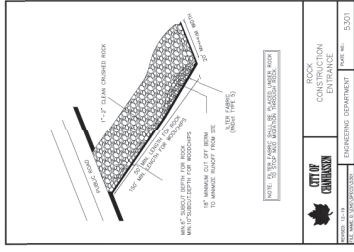
WATERSHED RESUBMITTAL
JANUARY 10, 2024



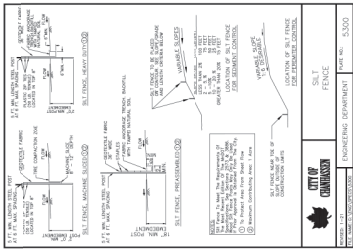
105 South Fifth Avenue
Suite 513
Minnetonka, MN 55345
Tel: 612-232-4070
Fax: 612-232-4071
Email: info@landform.com
File Name: 24040104DWG
Project No.: 24040104

UTILITY PROFILES
C5.3

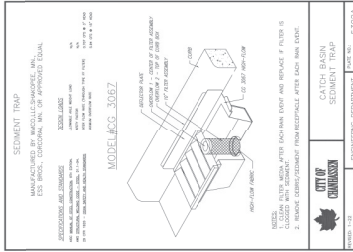




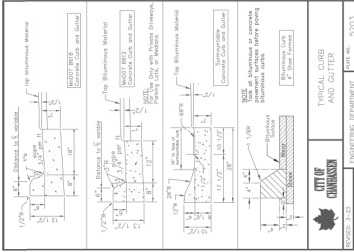
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NO SCALE



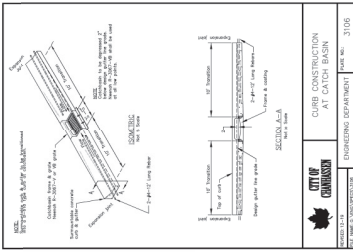
2 SILT FENCE
NO SCALE



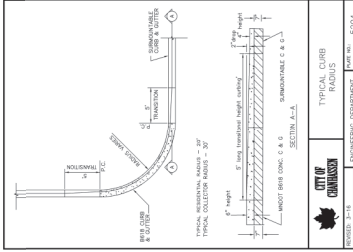
3 CATCH BASIN SEDIMENT TRAP
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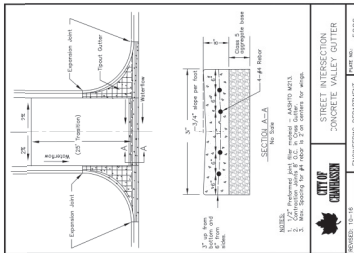
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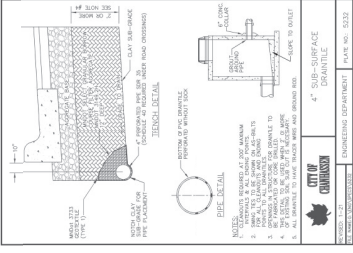
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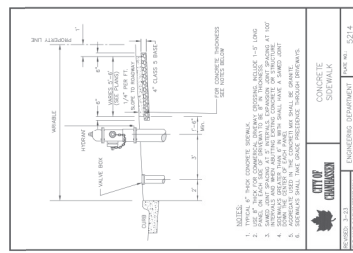
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8 PAVEMENT DRAIN TILE
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9 CONCRETE SIDEWALK
NO SCALE

CERTIFICATION

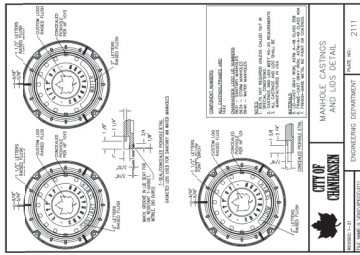
I hereby certify that the plans and specifications for the above project were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
DATE: 01/10/24
NAME: DAN FLETCHER
NO. 10000000000000000000

WATERSHED RESUBMITTAL
 JANUARY 10, 2024

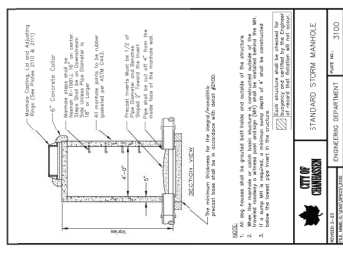


106 South Fifth Avenue Tel: 612-532-4070
 Suite 313 Fax: 612-532-4077
 Minneapolis, MN 55401 Web: www.landformmn.com
 FILE NAME: CH250004
 PROJECT NO: SCD04001EVEN04

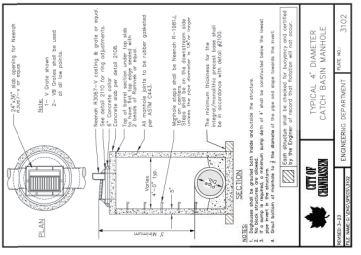
CIVIL CONSTRUCTION DETAILS
C7.1



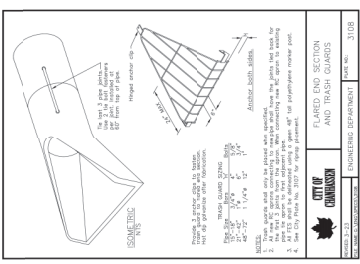
1 NO SCALE
MANHOLE CASTINGS & LIDS DETAIL



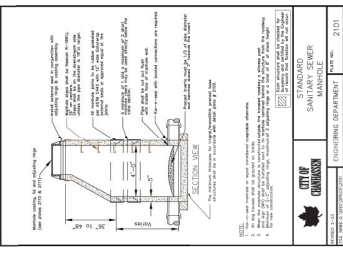
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STANDARD STORM MANHOLE



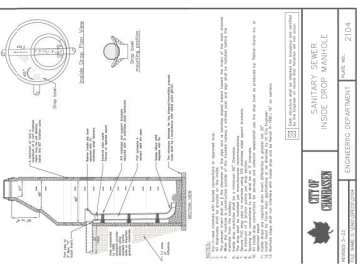
3 NO SCALE
TYPICAL 4' DIAMETER CATCH BASIN MANHOLE



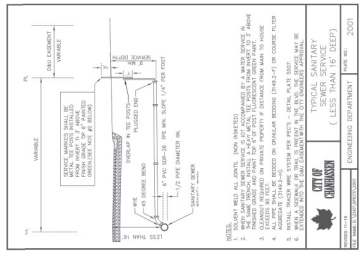
4 NO SCALE
FLARED END SECTION & TRASH GUARD



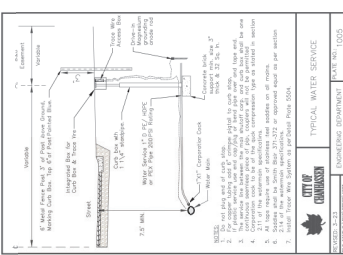
5 NO SCALE
STANDARD SANITARY SEWER MANHOLE



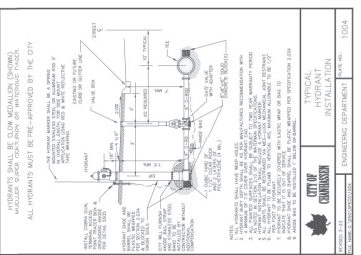
6 NO SCALE
SANITARY SEWER INSIDE DROP MANHOLE



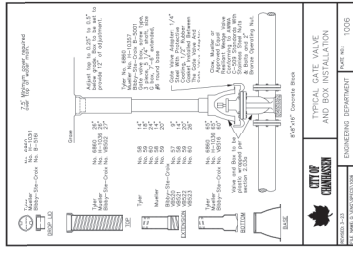
7 NO SCALE
TYPICAL SANITARY SEWER SERVICE (LESS THAN 16' DEEP)



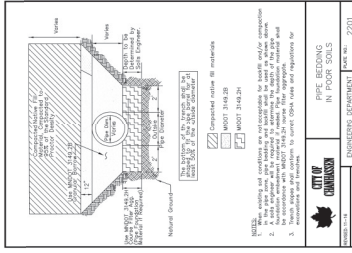
8 NO SCALE
TYPICAL WATER SERVICE



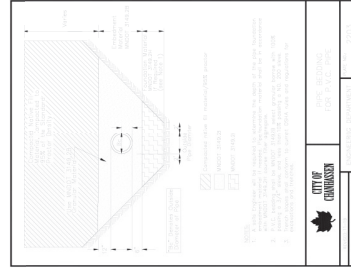
9 NO SCALE
TYPICAL HYDRANT INSTALLATION



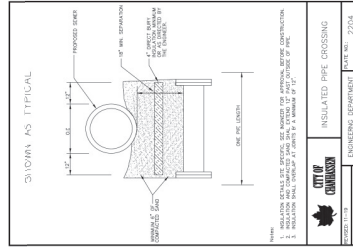
1 TYPICAL GATE VALVE & BOX INSTALLATION NO SCALE



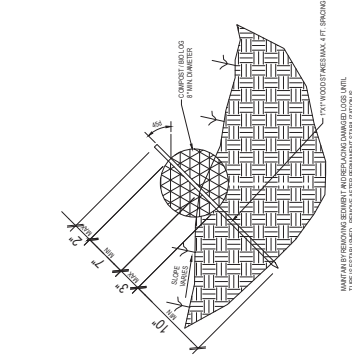
2 PIPE BEDDING IN POOR SOILS NO SCALE



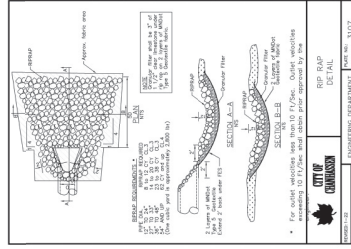
3 PIPE BEDDING FOR PVC PIPE NO SCALE



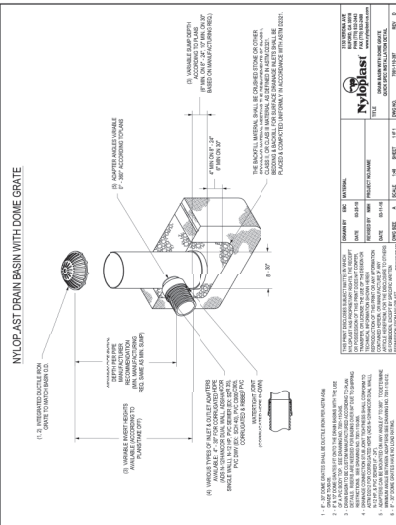
4 INSULATED PIPE CROSSING NO SCALE



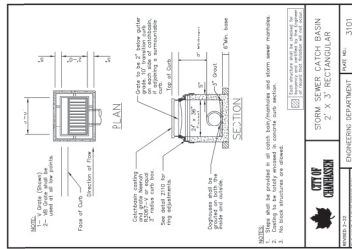
5 TEMPORARY COMPOST/BID LOG NO SCALE



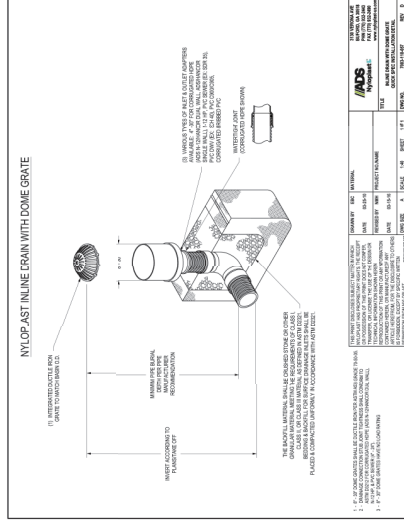
6 FES RIP RAP NO SCALE



7 NYLOPLAST DRAIN BASIN NO SCALE



8 2' X 3' CATCH BASIN NO SCALE



9 NYLOPLAST INLINE DRAIN NO SCALE

I hereby certify that the plans and specifications for the above project were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

DATE 01/10/2024
NAME [Signature]
PROFESSION CIVIL ENGINEER

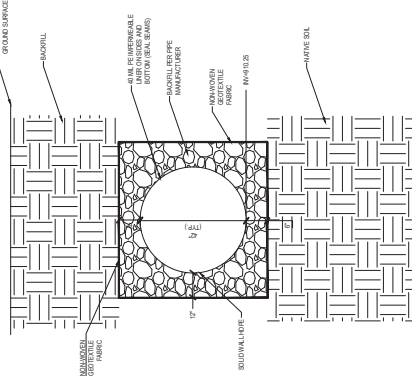
DEVELOPER
LEVEL 7 DEVELOPMENT, LLC
 4600 KINGS POINT RD
 MINNETONKA, MN 55341



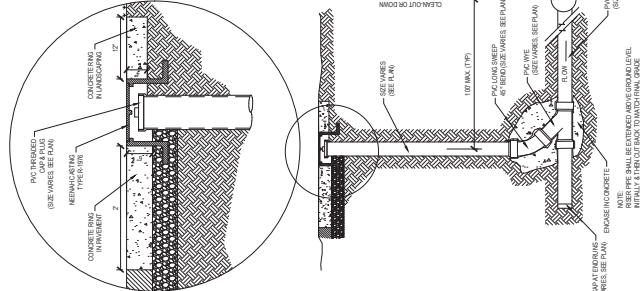
PROJECT
AVIENDA ROWHOMES
CHANHASSEN, MN

ISSUE / REVISION HISTORY

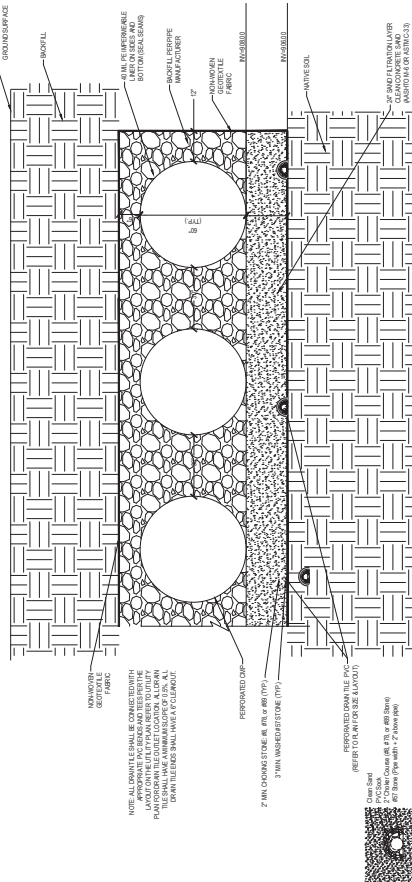
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02	01/10/2024	ISSUE FOR PERMITTING
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04	01/10/2024	ISSUE FOR PERMITTING
05	01/10/2024	ISSUE FOR PERMITTING
06	01/10/2024	ISSUE FOR PERMITTING
07	01/10/2024	ISSUE FOR PERMITTING
08	01/10/2024	ISSUE FOR PERMITTING
09	01/10/2024	ISSUE FOR PERMITTING
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17	01/10/2024	ISSUE FOR PERMITTING
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19	01/10/2024	ISSUE FOR PERMITTING
20	01/10/2024	ISSUE FOR PERMITTING



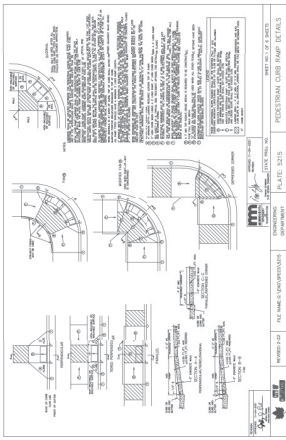
1 UNDERGROUND CISTERN SECTION
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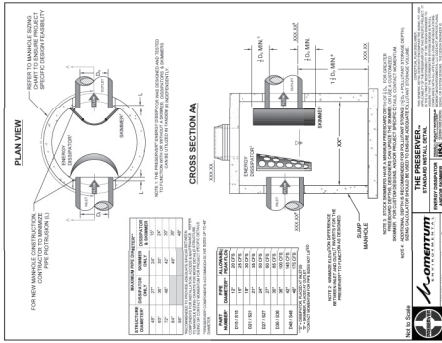
2 CLEAN-OUT STRUCTURE
 NO SCALE



3 UNDERGROUND FILTRATION SYSTEM
 NO SCALE



4 PEDESTRIAN CURB RAMP
 NO SCALE



5 STORM SEWER MANHOLE
 W/ PRESERVER & SKIMMER
 NO SCALE

CERTIFICATION

I hereby certify that the plans and specifications herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
NAME: [Redacted]
NO.: [Redacted]
EXPIRES: [Redacted]

WATERSHED RESUBMITTAL

JANUARY 10, 2024



105 South Fifth Avenue
 Suite 313
 Minneapolis, MN 55401
FILE NAME: [Redacted]
PROJECT NO.: [Redacted]

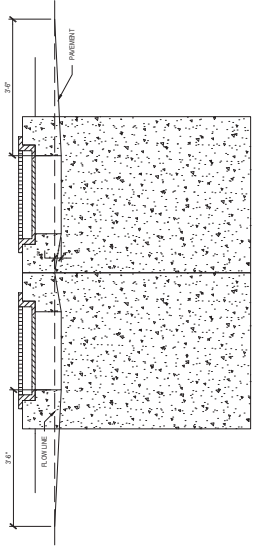
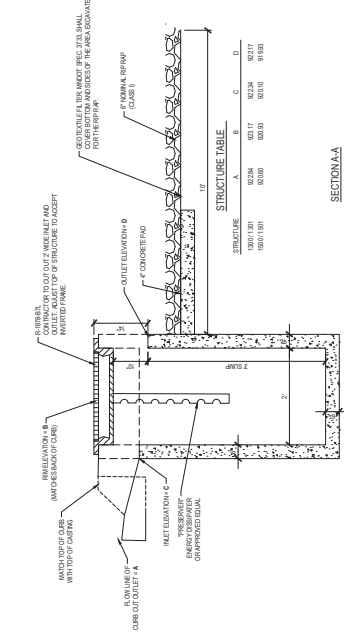
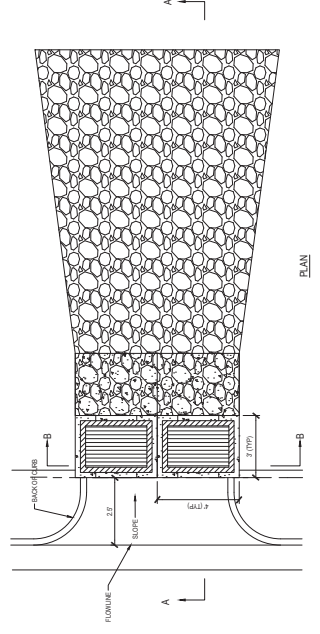
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C7.4

ISSUE / REVISION HISTORY

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4	12/11/24	ISSUE FOR PERMITTING	JK
5	12/11/24	ISSUE FOR PERMITTING	JK
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8	12/11/24	ISSUE FOR PERMITTING	JK
9	12/11/24	ISSUE FOR PERMITTING	JK
10	12/11/24	ISSUE FOR PERMITTING	JK

I, the undersigned, hereby certify that the information provided in this application is true and correct to the best of my knowledge and belief, and that I am a duly Licensed Professional Engineer in the State of Minnesota.

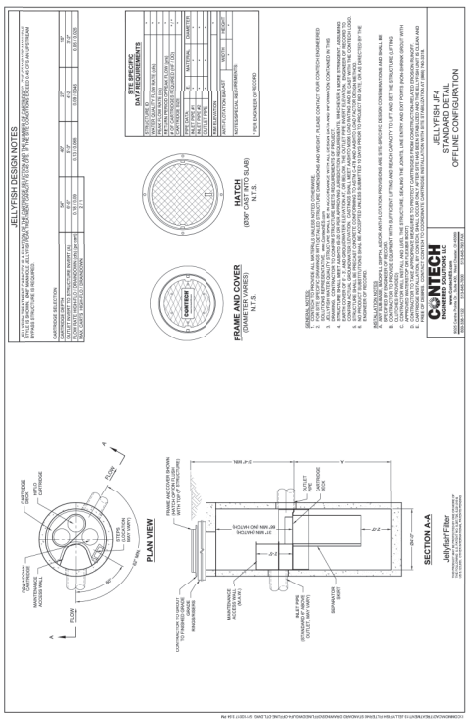
DATE 12/11/24
PROJECT NO. 2024001/LEV/04
SCALE AS SHOWN



2'X3' STORM SEWER CATCH BASIN WITH PRESERVER

1

NO SCALE



JELLYFISH JF4 FILTER

2

NO SCALE



ISSUE / REVISION HISTORY

DATE	DESCRIPTION	REVISION
11/14/2024	ISSUE FOR PERMITS	001
11/14/2024	ISSUE FOR PERMITS	002
11/14/2024	ISSUE FOR PERMITS	003
11/14/2024	ISSUE FOR PERMITS	004
11/14/2024	ISSUE FOR PERMITS	005
11/14/2024	ISSUE FOR PERMITS	006
11/14/2024	ISSUE FOR PERMITS	007
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11/14/2024	ISSUE FOR PERMITS	009
11/14/2024	ISSUE FOR PERMITS	010

GENERAL NOTES

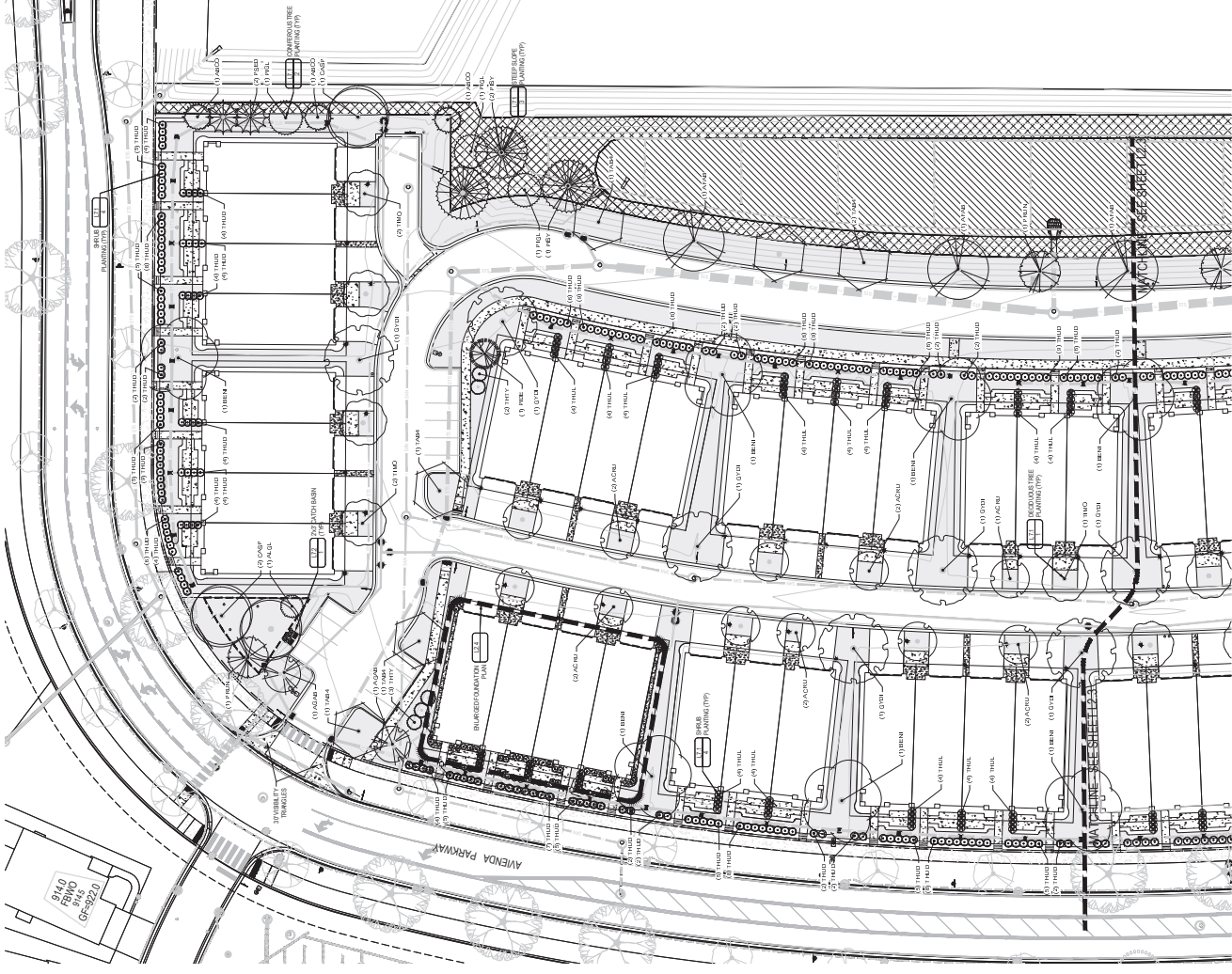
- Provide final 2D drawings and surveys on the project. Landform 10/2024/010.
- Complete site plan for all buildings and parking areas. 2D drawings to be submitted.
- Coordinate with all contractors regarding utility work.
- Finalize all utility lines (water, sewer, storm, gas, electric, fiber optic, etc.) and provide final utility map.
- Finalize all site plan details (e.g., parking, landscaping, etc.) and provide final site plan.
- Finalize all landscape plan details (e.g., plantings, etc.) and provide final landscape plan.
- Finalize all site plan details (e.g., parking, etc.) and provide final site plan.
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- Finalize all landscape plan details (e.g., plantings, etc.) and provide final landscape plan.

LANDSCAPE NOTES

- Complete site plan for all buildings and parking areas. 2D drawings to be submitted.
- Coordinate with all contractors regarding utility work.
- Finalize all utility lines (water, sewer, storm, gas, electric, fiber optic, etc.) and provide final utility map.
- Finalize all site plan details (e.g., parking, landscaping, etc.) and provide final site plan.
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- Finalize all landscape plan details (e.g., plantings, etc.) and provide final landscape plan.

LEGEND

- Symbol: See Note #1
- Symbol: See Note #2
- Symbol: See Note #3
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- Symbol: See Note #98
- Symbol: See Note #99
- Symbol: See Note #100



CERTIFICATION

I, the undersigned, being a duly qualified and licensed landscape architect, do hereby certify that the foregoing drawings and specifications were prepared by me or under my direct supervision and that I am a duly licensed and qualified landscape architect under the laws of the State of Minnesota.

JARA
JARA LANDSCAPE ARCHITECTS, P.A.
1000 N. WISCONSIN AVENUE, SUITE 200
MINNEAPOLIS, MN 55412
PHONE: (612) 338-7000
FAX: (612) 338-7001
WWW.JARALANDSCAPE.COM

WATERSHED RESUBMITTAL

JANUARY 10, 2024



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Minneapolis, MN 55401
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ENRAGED LANDSCAPE PLAN

NORTH
L2.2



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ILLUMINANCE SCHEDULE

CALLOUT	SYMBOL	QUANTITY	MOUNTING	MODEL	VOLTS	DEFAULT ELEVATION	NOTE 1
5		3	POLE	BE LIGHTING SOLUTIONS (BULL HEAD) -	120V/177V	8'	STREET LIGHT - MODEL APPROVED

ILLUMINANCE SCHEDULE

CALLOUT	SYMBOL	QUANTITY	MOUNTING	MODEL	VOLTS	DEFAULT ELEVATION	NOTE 1
5		3	POLE	BE LIGHTING SOLUTIONS (BULL HEAD) -	120V/177V	8'	STREET LIGHT - MODEL APPROVED

CALCULATION AREAS

Category	Area (sq ft)	Average Foot Candles	Minimum Foot Candles
Watershed	2,200	2.29	2.29
Average Foot Candles	2,200	2.29	2.29
Minimum Foot Candles	2,200	2.29	2.29
Minimum Foot Candles	2,200	2.29	2.29
Minimum Foot Candles	2,200	2.29	2.29
Average to Minimum Ratio	2,200	2.29	2.29

CALCULATION AREAS

Category	Area (sq ft)	Average Foot Candles	Minimum Foot Candles
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Minimum Foot Candles	2,200	2.29	2.29
Minimum Foot Candles	2,200	2.29	2.29
Average to Minimum Ratio	2,200	2.29	2.29

OUTDOOR LIGHTING OPTIONS

LED Luminaire Styles

Traditional
 Distinctive form of traditional area lighting, appearing by setting with distinctive styling. Available in a wide range of finishes and materials. Available in a wide range of lumens and wattages. Available in a wide range of mounting heights. Available in a wide range of mounting styles.

- Colors: Clear, Bronze, Black
- Mounting: Pole, Wall, Deck
- Lens: Clear, Frosted, Prismatic
- Finish: Matte, Gloss, Satin
- Dimming: On/Off, Dimmable
- Pole Style: Freestanding

Axon
 Axon luminaire, application with one of the many luminaire styles, based on the style selected at launch.

- Colors: Clear, Bronze, Black, Federal Green
- Mounting: Pole, Wall, Deck
- Lens: Clear, Frosted, Prismatic
- Finish: Matte, Gloss, Satin
- Dimming: On/Off, Dimmable
- Pole Style: Freestanding

Lumen
 Axon luminaire, application with one of the many luminaire styles, based on the style selected at launch.

- Colors: Clear, Bronze, Black, Federal Green
- Mounting: Pole, Wall, Deck
- Lens: Clear, Frosted, Prismatic
- Finish: Matte, Gloss, Satin
- Dimming: On/Off, Dimmable
- Pole Style: Freestanding

Cobra
 Axon luminaire, application with one of the many luminaire styles, based on the style selected at launch.

- Colors: Clear, Bronze, Black, Federal Green
- Mounting: Pole, Wall, Deck
- Lens: Clear, Frosted, Prismatic
- Finish: Matte, Gloss, Satin
- Dimming: On/Off, Dimmable
- Pole Style: Freestanding

Contemporary
 Axon luminaire, application with one of the many luminaire styles, based on the style selected at launch.

- Colors: Light Gray, Black
- Mounting: Pole, Wall, Deck
- Lens: Clear, Frosted, Prismatic
- Finish: Matte, Gloss, Satin
- Dimming: On/Off, Dimmable
- Pole Style: Freestanding

Fast Top Luminaire Recessed
 Axon luminaire, application with one of the many luminaire styles, based on the style selected at launch.

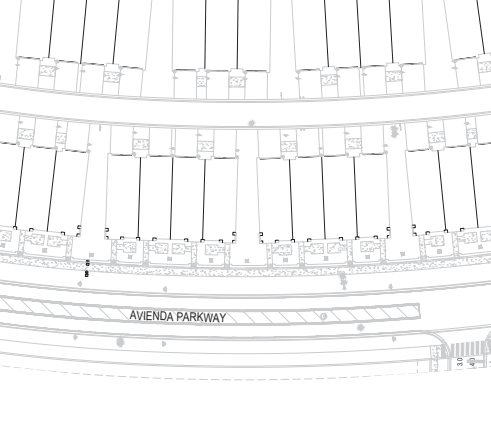
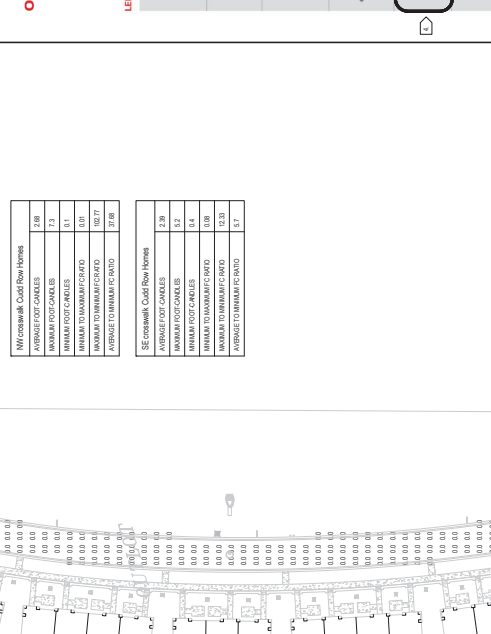
- Colors: Light Gray, Bronze, Black, Federal Green
- Mounting: Pole, Wall, Deck
- Lens: Clear, Frosted, Prismatic
- Finish: Matte, Gloss, Satin
- Dimming: On/Off, Dimmable
- Pole Style: Freestanding

Beams
 Axon luminaire, application with one of the many luminaire styles, based on the style selected at launch.

- Colors: Light Gray, Bronze, Black, Federal Green
- Mounting: Pole, Wall, Deck
- Lens: Clear, Frosted, Prismatic
- Finish: Matte, Gloss, Satin
- Dimming: On/Off, Dimmable
- Pole Style: Freestanding

Nightwatch Lights
 Axon luminaire, application with one of the many luminaire styles, based on the style selected at launch.

- Colors: Light Gray, Bronze, Black, Federal Green
- Mounting: Pole, Wall, Deck
- Lens: Clear, Frosted, Prismatic
- Finish: Matte, Gloss, Satin
- Dimming: On/Off, Dimmable
- Pole Style: Freestanding



PHOTOMETRICS PLAN
L4.1

PHOTOMETRICS PLAN
L4.1

PHOTOMETRICS PLAN
L4.1

PHOTOMETRICS PLAN
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PHOTOMETRICS PLAN
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PHOTOMETRICS PLAN
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PHOTOMETRICS PLAN
L4.1

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L4.1

PHOTOMETRICS PLAN
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PHOTOMETRICS PLAN
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L4.1

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PHOTOMETRICS PLAN
L4.1

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L4.1

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 Know what's Below. Call before you dig.

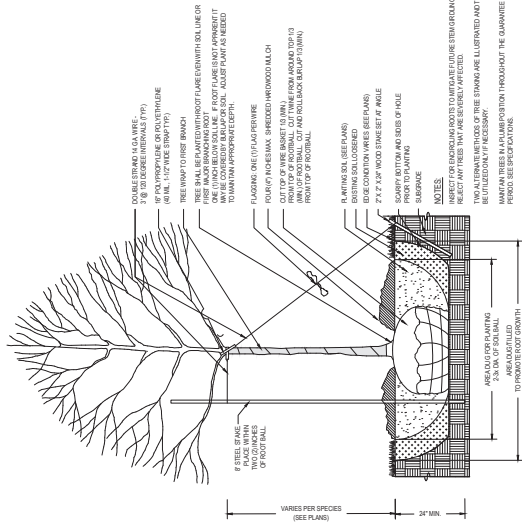
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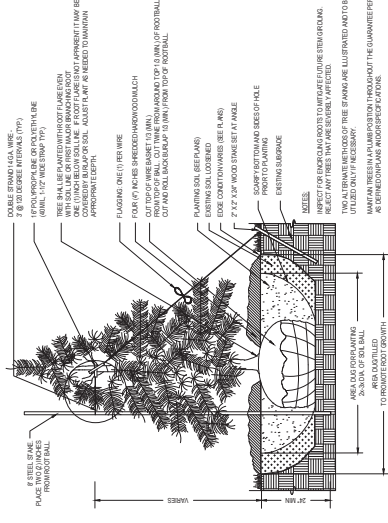
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ISSUE / REVISION HISTORY

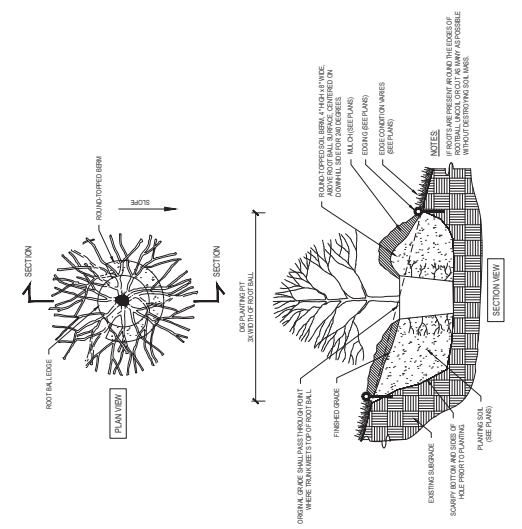
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02	01/11/2024	ISSUE FOR PERMITTING
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04	01/11/2024	ISSUE FOR PERMITTING
05	01/11/2024	ISSUE FOR PERMITTING
06	01/11/2024	ISSUE FOR PERMITTING
07	01/11/2024	ISSUE FOR PERMITTING
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09	01/11/2024	ISSUE FOR PERMITTING
10	01/11/2024	ISSUE FOR PERMITTING



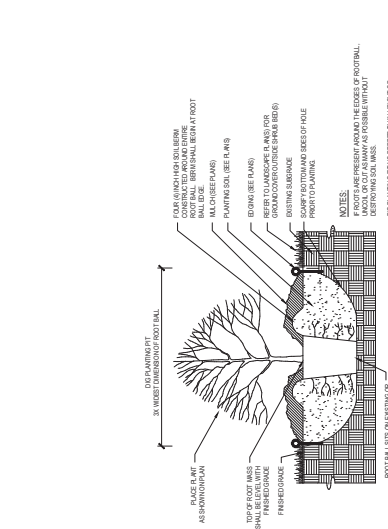
1 **DECIDUOUS TREE PLANTING** NO SCALE



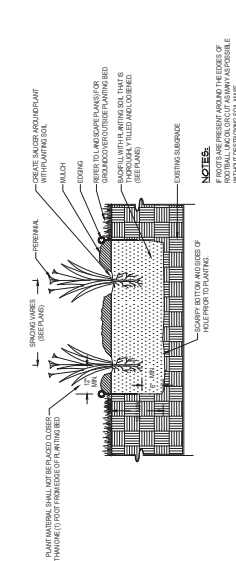
2 **CONIFEROUS TREE PLANTING** NO SCALE



3 **STEEP SLOPE PLANTING** NO SCALE



4 **SHRUB PLANTING** NO SCALE



5 **PERENNIAL PLANTING** NO SCALE





From Site to Finish

Avienda Row Homes

Watershed Variance Request Narrative

Prepared for:

Level 7 Development, LLC

December 26, 2023



PREPARED FOR
Level 7 Development, LLC
4600 Kings Point Rd
Minnetrista, MN 55331



PREPARED BY
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Introduction

On behalf of Level 7 Development, LLC, Landform is pleased to submit this application for two variances from Riley Purgatory Bluff Creek Watershed District (RPBCWD) Rule B, Subsection 2.1. Approval of the variance will allow the development to proceed in accordance with preliminary plat and PUD approvals granted by the City of Chanhassen. We are excited about the improvements proposed for this site.

Variance

Variance Request #1

We are requesting Watershed approval for a variance from Rule B, Subsection 2.1 which requires the project to provide compensatory storage within +/- one foot of the fill. This requirement cannot be practicably met within each increment of elevation for this site. The Avienda Row Homes project will provide a cumulative compensatory storage which greatly exceeds the total existing storage for this phase. Refer to Table 17 in the Stormwater Management Plan for additional information regarding the compensatory storage. The requested variance meets the standards outlined in the rules as follows:

1.1 *How substantial the variation is from the rule provision*

The variation from the rule provision is insignificant. Specifically, the storage volume exceeds the existing total storage for both Phases 1 and 2. The intent of the rule is met for compensatory storage as shown in Table 17.

1.2 *The effect of the variance on government services*

There will be no effect of the variance on government services. The site conditions provide adequate compensatory storage on site and will be managed by the developer.

1.3 *Whether the variance will substantially change the character of or cause material adverse effect to water resources, flood levels, drainage or the general welfare in the District, or be a substantial detriment to neighboring properties.*

There will be no material adverse effect to water resources, flood levels, drainage or general welfare in the District nor any substantial detriment to neighboring properties. As noted in Table 17, the cumulative compensatory storage greatly exceeds the existing storage for this phase.

1.4 *Whether the practical difficulty can be alleviated by a technically and economically feasible method other than a variance. Economic hardship alone may not serve as grounds for issuing a variance if any reasonable use of the property exists under the terms of the District rules*

There is no technically or economically feasible alternative to the variance.

1.5 *How the practical difficulty occurred, including whether the landowner, the landowner's agent or representative, or a contractor, created the need for the variance*

The practical difficulty is not created by the landowner or their agent but is a result of the conflicts between the watershed rules and other agency requirements.

1.6 *In light of all the above factors, whether allowing the variance will serve the interests of justice*

Allowing the variance will serve the interests of justice by allowing the project to proceed forward as approved by the City of Chanhassen and providing compensatory storage that exceeds the total existing storage for both Phases 1 and 2.

Variance Request #2

We are requesting Watershed approval for a variance from Rule B, Subsection 2.1 which requires the project to provide compensatory storage within the same waterbody. The waterbodies as defined by the RPBCWD consist of

stormwater management basins approved by the watershed in Phases 1 and 2. Providing compensatory storage within these waterbodies is not possible. The requested variance meets the standards outlined in the rules as follows:

1.1 How substantial the variation is from the rule provision

The variation from the rule provision is insignificant. The waterbodies in question are stormwater management basins approved by the watershed in Phases 1 and 2. The revised/added basins will provide similar or better flood protection and therefore this is a minimal change.

1.2 The effect of the variance on government services

There will be no effect of the variance on government services.

1.3 Whether the variance will substantially change the character of or cause material adverse effect to water resources, flood levels, drainage or the general welfare in the District, or be a substantial detriment to neighboring properties.

There will be no material adverse effect to water resources, flood levels, drainage or general welfare in the District nor any substantial detriment to neighboring properties. As noted in Table 17, the cumulative compensatory storage greatly exceeds the existing storage for this phase of development and will be provided on site.

1.4 Whether the practical difficulty can be alleviated by a technically and economically feasible method other than a variance. Economic hardship alone may not serve as grounds for issuing a variance if any reasonable use of the property exists under the terms of the District rules

There is no technically or economically feasible alternative to the variance. The preliminary plat and PUD has been approved by the municipality and it is not technically possible to comply with the rule.

1.5 How the practical difficulty occurred, including whether the landowner, the landowner's agent or representative, or a contractor, created the need for the variance

The practical difficulty is not created by the landowner or their agent.

1.6 In light of all the above factors, whether allowing the variance will serve the interests of justice

Allowing the variance will serve the interests of justice by allowing the project to proceed forward as approved by the City of Chanhassen. The compensatory storage will be provided on site in compliance with all other watershed rules.

Summary

We respectfully request approval of the two variances to allow construction of the Avienda Row Homes at the northeast corner of the intersection of Bluff Creek Boulevard and Avienda Parkway in Chanhassen.

Contact Information

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Any additional questions regarding this application can be directed to Steve Sabraski at ssabraski@landform.net or 612.638.0243.